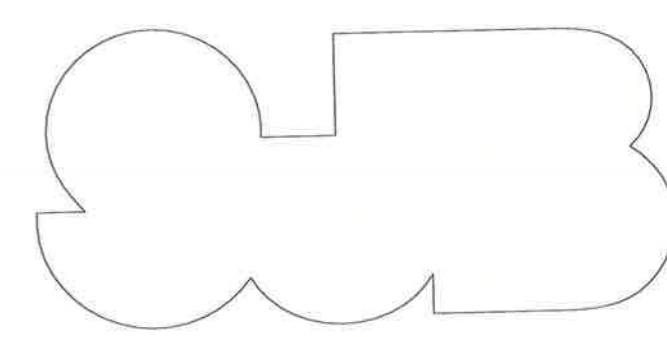


Location Map

Thermal Performance Specifications	
Glazing Doors/windows	Aluminium framed single clear glazing to all units; U-Value: 6.57 (equal to or lower than) SHGC: 0.74 (±10%) Given values are NFRC, total window values
Roof	Concrete roof no insulation Default light colour
Ceiling	Plasterboard ceiling, an R2.5 insulation where exposed roof above Plasterboard ceiling, an R1.0 insulation required where balcony above in unit 4.02 Plasterboard ceiling, no insulation where neighbouring units are above Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and assume non-ventilated LED down lights.
External wall	Cavity brick with internal stud an R1.0 insulation throughout Default medium colour
Inter tenancy walls	75 mm Hebel power panel wall – acoustic insulation as required
Walls with-in dwellings	Plasterboard on studs – no insulation
Floors	Concrete – no insulation required to units with garage below Concrete – suspended open subfloor with an R1.2 insulation required to units 2.05 and 2.06 Concrete between levels no insulation
Floor coverings	Carpet to bedrooms, tiles to bathrooms and laundry timber elsewhere
Central rainwater storage	Not required to pass BASIX
Fire sprinkler system	Fire sprinkler test water contained in a closed loop system
Hot water system	Central gas-fired boiler with R0.6 (~25mm) insulation to ring main and supply risers
Alternative energy	No BASIX requirement for alternative energy

BASIX Requirements

Contents		
Sheet Number	Sheet Name	
DA 0001	Cover Sheet	
DA 0101	Location Plan	
DA 0102	Site Analysis	
DA 0103	Demolition Plan	
DA 0201	Floor Plan - Basement 04	
DA 0202	Floor Plan - Basement 02-03	
DA 0203	Floor Plan - Basement 01	
DA 0204	Floor Plan - Lower Ground	
DA 0205	Floor Plan - Ground Floor	
DA 0206	Floor Plan - Level 01	
DA 0207	Floor Plan - Level 02	
DA 0208	Floor Plan - Level 03	
DA 0209	Floor Plan - Level 04	
DA 0210	Floor Plan - Level 05-17	
DA 0211	Roof Plan	
DA 0212	Roof Top Plant Plan	
DA 0501	Elevations - East & West	
DA 0502	Elevations - North & South	
DA 0503	External Finishes	
DA 0601	Sections - A & B	
DA 0602	Sections - C	
DA 0701	Retail Wall Sections	
DA 0702	Retail Detail Elevation	
DA 1401	Apartment Types - Adaptable	
DA 3001	Shadow Analysis Sheet 1	
DA 3002	Shadow Analysis Sheet 2	
DA 3003	Shadow Analysis Sheet 3	
DA 3004	Shadow Analysis Sheet 4	
DA 3005	Shadow Analysis Sheet 5	
DA 3006	Shadow Analysis Sheet 6	
DA 3007	Shadow Analysis Sheet 7	
DA 3011	View from the Sun - Sheet 1	
DA 3012	View from the Sun - Sheet 2	
DA 3013	View from the Sun - Sheet 3	
DA 3014	View from the Sun - Sheet 4	
DA 3015	View from the Sun - Sheet 5	
DA 3016	View from the Sun - Sheet 6	
DA 3017	View from the Sun - Sheet 7	
DA 3021	Preliminary Analysis - View Impact Sheet 1	
DA 3022	Preliminary Analysis - View Impact Sheet 2	
DA 3023	Preliminary Analysis - Visual Impact Sheet 3	
DA 3201	Analysis - Solar Access 9am-3pm Sheet 1	
DA 3202	Analysis - Solar Access 9am-3pm Sheet 2	
DA 3203	Analysis - Solar Access 9am-3pm Sheet 3	
DA 3204	Analysis - Cross Ventilation Sheet 1	
DA 3205	Analysis - Cross Ventilation Sheet 2	
DA 3206	Analysis - GFA	
DA 3207	Analysis - Massing Study	
DA 3301	Analysis - Street View	
DA 3302	Analysis - Street View	

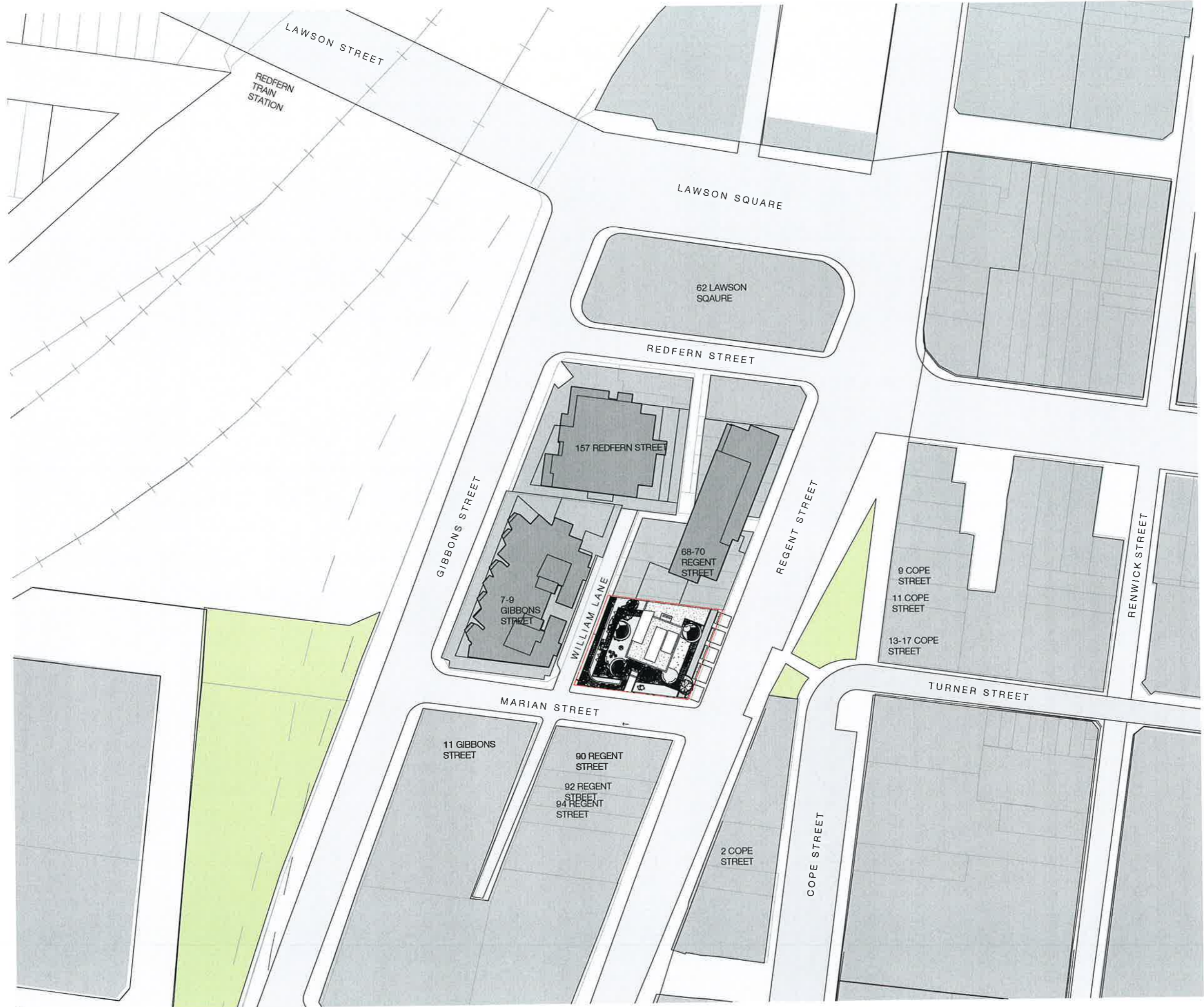


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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	CHK
4	19 01 2016	DA Issue	NK	SH
5	21 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	NK	SH
8	11 11 2016	Revised DA Issue	NK	SH
10	10 02 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	30 06 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH



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Project  
**MILLIGAN - Regent Street, Redfern**  
 80-88 Regent St, Redfern for  
 Sunny Thirdi Regent St Pty Ltd

Drawing Name  
 Location Plan



Date: 09.10.2017  
 Scale: 1 : 500  
 Sheet Size: @ A1

Drawn: NK  
 Chk: SH

Job No: 5359  
 Drawing No: DA-0101  
 Revision: / 14

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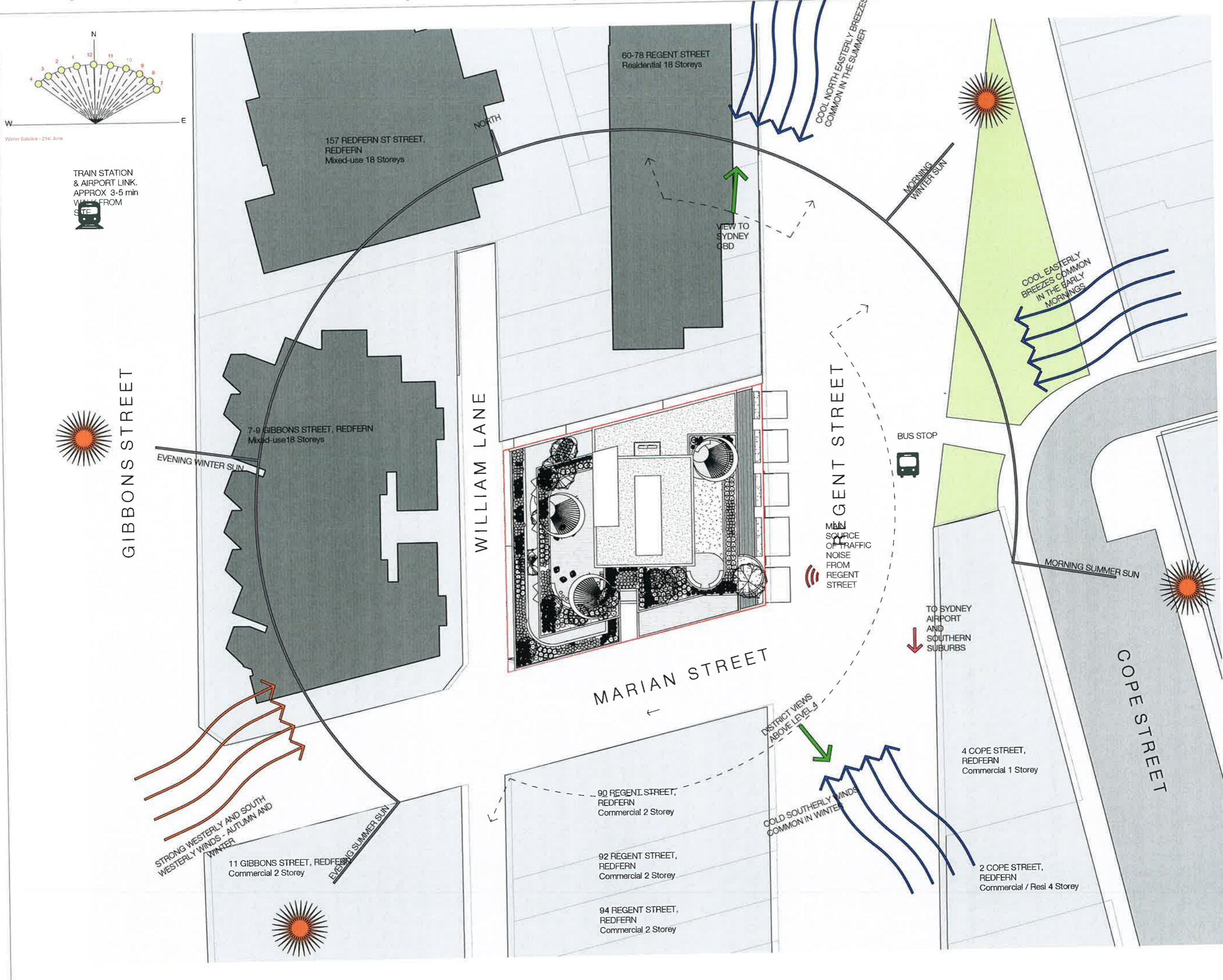
Nominated Architects: Adam Haddow-7188 | John Pradel-7004

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Rev	Date	Revision	By	CHK
3	13 01 2016	Draft DA Issue	DS	SH
4	19 01 2016	DA Issue	NK	SH
5	21 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	HK	SH
8	11 11 2016	Revised DA Issue	SH	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	30 06 2017	Revised DA Issue	SH	SH

**KEY**

-  Boundary Line
-  Primary views from site
-  Prevailing wind directions
-  Noise Source
-  Train station
-  Bus Stops



Client



Project  
MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

Drawing Name  
Site Analysis

Date	Scale	Sheet Size
30.06.2017	ted	@ A1
Drawn	1:200	
NK	AH	
Job No.	Drawing No.	Revision
5359	DA-0102	/ 12

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3	13/01/2016	Final DA Issue	DS	SH
4	19/01/2016	DA Issue	NK	SH
5	21/05/2016	Revised DA Issue	SH	SH
6	15/07/2016	Revised DA Issue	SH	SH
8	11/11/2016	Revised DA Issue	NK	AH
11	07/04/2017	Revised DA Issue	SH	SH
12	30/06/2017	Revised DA Issue	SH	SH
14	09/10/2017	Revised DA Issue Roof Enclosure Removed	SH	SH

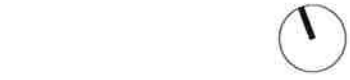


Client



Project  
**MILLIGAN - Regent Street, Redfern**  
 80-88 Regent St, Redfern for  
 Sunny Thirdi Regent St Pty Ltd

Drawing Name  
**Demolition Plan**



Date: 09.10.2017  
 Scale: 1 : 100  
 Sheet Size: @ A1

Drawn: NK  
 Chk: AH

Job No: 5359  
 Drawing No: DA-0103  
 Revision: / 14

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3	13 04 2016	Drill DA Issue	DS SH
4	19 01 2016	DA Issue	NK SH
5	21 05 2016	Revised DA Issue	SH SH
6	15 07 2016	Revised DA Issue	SH SH
8	11 11 2016	Revised DA Issue	TK SH
10	10 03 2017	Revised DA Issue	MY SH
11	07 04 2017	Revised DA Issue	SH SH
12	30 06 2017	Revised DA Issue	SH SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH SH

**Carparking Legend**

Residential Carparking	
Residential Visitor Carparking	
Commercial / Retail Carparking	
Commercial / Retail Carparking	
Childcare Carparking	
Car Share Bay	

**Car Parking Summary**

Category	Total
<b>Maximum Residential</b> (Including 8 Adaptable at 15% of Units)	
0 x Studios @ 0.2 spaces per dwelling	0
14 x 1 Bed @ 0.4 spaces per dwelling	5.6
42 x 2 Bed @ 0.8 spaces per dwelling	33.6
0 x 3 Bed @ 1.1 spaces per dwelling	0
<b>Maximum Commercial</b> (Including 1 Accessible)	
M is the maximum number of parking spaces, and G is the gross floor area of all office premises and business premises in the building in square metres, and A is the site area in square metres, and T is the total gross floor area of all buildings on the site in sq metres	
G = 1,250 sqm	
A = 822 sqm	
T = 5,754 sqm	
$M = (G \times A) / (50 \times T)$	4
$M = (1,250 \times 822) / (50 \times 5,754) = 1,027,500 / 287,700 = 3.57$	
<b>Maximum Childcare Staff</b> (Including 1 Accessible) (Including 2 Drop-off)	4
Childcare Centre 1 space plus 1 per 100sqm GFA	
1 + 2.5 = 3.5	
<b>Maximum Retail Staff</b> (Including 1 Accessible) Retail	3
1 space per 60sqm GFA	
214sqm / 60sqm = 3.57	
<b>Visitor Parking</b> (Including 1 Accessible)	
Residential Visitor	
0.167 spaces for each dwelling up to 30	= 5
0.1 space for each dwelling >30 and <70	= 2.6
<b>Car Share Bay</b>	2
Car Share Scheme	
No of Car Spaces across the development	58 + 2 Car Share

**Bicycle Parking Summary**

Class 1 Residential Bicycle parking	1 per dwelling	56 Spaces
Class 2 Staff Bicycle parking	1 per 150sqm GFA	
Office or Business Premises	8 Spaces	
Shop, Restaurant or Cafe	1 per 250sqm GFA	1
Class 3 Visitor Bicycle parking	1 per 10 dwellings	6 Spaces
Residential	1 per 400sqm GFA	
Office or Business Premises	3 Spaces	
Shop, Restaurant or Cafe	2 plus 1 per 100sqm over 100sqm	3 Spaces

For non-residential uses, the following facilities for bike parking are to be provided at the following rates:

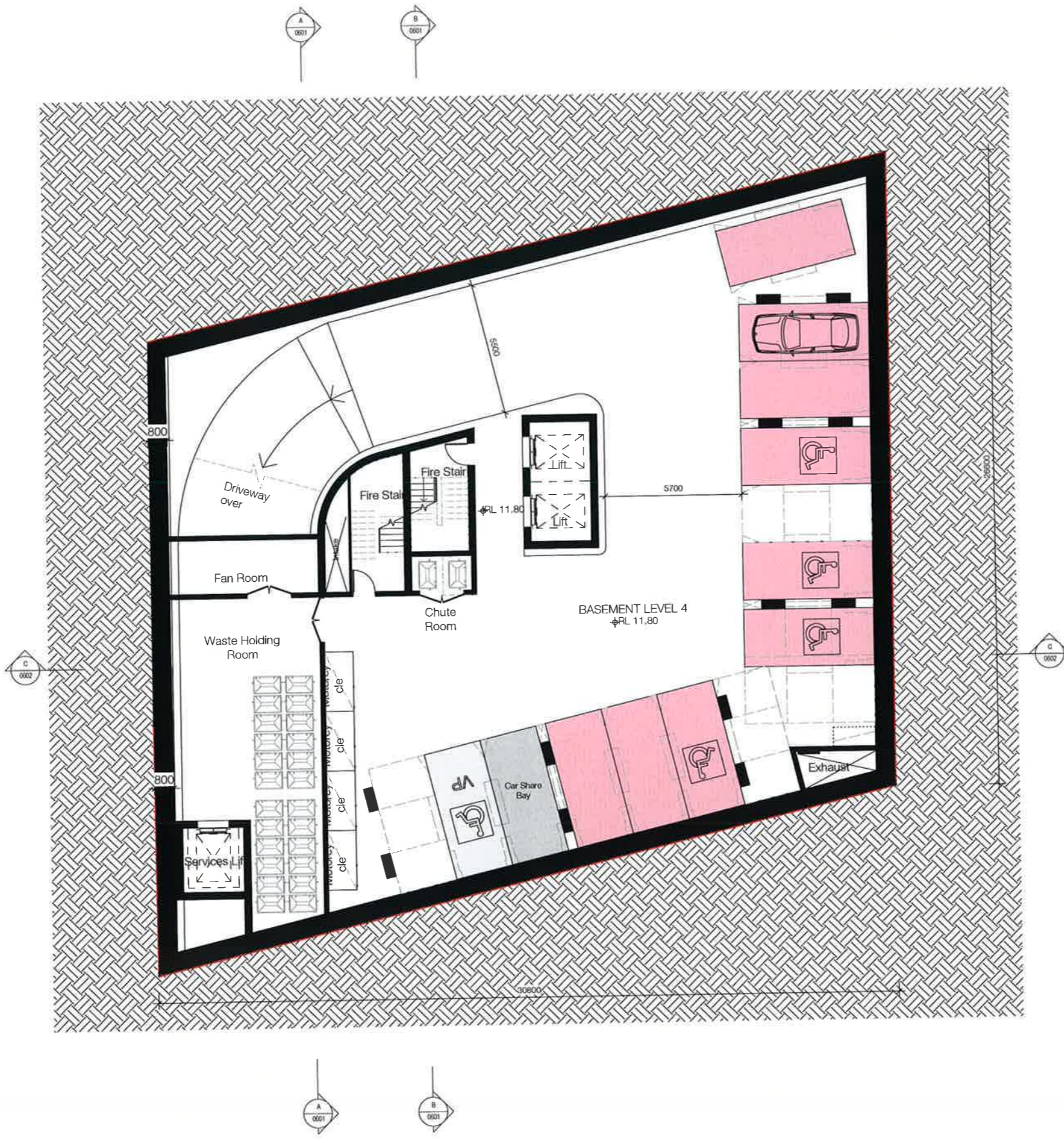
- (a) 1 personal locker for each bike parking space;
- (b) 1 shower and change cubicle for up to 10 bike parking spaces; 2 shower and change cubicles for 11 to 20 or more bike parking spaces are provided;
- (c) 2 additional showers and cubicles for each additional 20 bike parking spaces or part thereof;
- (e) showers and change facilities may be provided in the form of shower and change cubicles in a unisex area in both female and male change rooms; and
- (f) locker, change room and shower facilities are to be located close to the bike parking area, entry and exit points and within an area of security camera surveillance where there are such building security systems.

**Carparking Provisions**

Description	Total
Residential Carparking	31
Adaptable Carpark - Shared Adjacent Space (AS2890.6)	0
Childcare Drop-off Parking	2
Childcare Staff Parking	1
Childcare Accessible Parking	1
Commercial Car parking	3
Commercial Adaptable Carpark - Shared Adjacent Space (AS2890.6)	1
Retail Carparking	2
Accessible Retail Carparking	1
Visitor Parking	7
Accessible Visitor Parking	1
<b>Total</b>	<b>58</b>

**Bicycle / Storage Provisions**

Description	Total
Class 1 Bicycle Storage - Residential	4
Class 1 - Residential Bicycle Storage	56
Class 2 - Staff Bicycle Parking (Double Racks located on LGF)	6
Class 3 - Visitor Bicycle Parking (Double Racks located on GF)	6
<b>Total</b>	<b>72</b>



Client



Project

MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

Drawing Name

Floor Plan - Basement 04

Date: 09.10.2017  
Scale: 1 : 100  
Sheet Size: @ A1

Drawn: NK  
Chk: AH

Job No.: 5359  
Drawing No.: DA-0201  
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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

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Rev	Date	Revision	By	Chk
3	13/01/2016	Draft DA Issue	DS	SH
4	19/01/2016	DA Issue	NK	SH
5	21/05/2016	Revised DA Issue	SH	SH
6	15/07/2016	Revised DA Issue	SH	SH
8	11/11/2016	Revised DA Issue	NK	SH
10	10/03/2017	Revised DA Issue	MY	SH
11	07/04/2017	Revised DA Issue	SH	SH
12	30/08/2017	Revised DA Issue	SH	SH
14	09/10/2017	Revised DA Issue Roof Enclosure Removed	SH	SH

**Carparking Legend**

Residential Carparking	
Residential Visitor Carparking	
Commercial / Retail Carparking	
Commercial / Retail Carparking	
Childcare Carparking	
Car Share Bay	

**Car Parking Summary**

Category	Details	Total
Maximum Residential (Including 9 Adaptable at 15% of Units)	0 x Studios @ 0.2 spaces per dwelling	0
	14 x 1 Bed @ 0.4 spaces per dwelling	5.6
	42 x 2 Bed @ 0.8 spaces per dwelling	33.6
	0 x 3 Bed @ 1.1 spaces per dwelling	0
		39
Maximum Commercial (Including 1 Accessible)	M is the maximum number of parking spaces, and G is the gross floor area of all office premises and business premises in the building in square metres, and A is the site area in square metres, and T is the total gross floor area of all buildings on the site in sq metres	
	G = 1,250 sqm A = 822 sqm T = 5,754 sqm	
	M = (G x A) / (50 x T) M = (1,250 x 822) / (50 x 5,754) = 1,027,500 / 287,700 = 3.57	4
Maximum Childcare Staff (Including 1 Accessible)	Childcare Centre 1 space plus 1 per 100sqm GFA 1 + 2.5 = 3.5	4
Maximum Retail Staff (Including 1 Accessible)	Retail 1 space per 60sqm GFA 214sqm / 60sqm = 3.57	3
Visitor Parking (Including 1 Accessible)	Residential Visitor 0.157 spaces for each dwelling up to 30 0.1 space for each dwelling >30 and <70	8
Car Share Bay	Car Share Scheme	2
No of Car Spaces across the development		58 + 2 Car Share

**Bicycle Parking Summary**

Class 1 Residential Bicycle parking	1 per dwelling	58 Spaces
Class 2 Staff Bicycle parking	Office or Business Premises 1 per 150sqm GFA Shop, Restaurant or Cafe 1 per 250sqm GFA	1
Class 3 Visitor Bicycle parking	Residential 1 per 10 dwellings Office or Business Premises 1 per 400sqm GFA Shop, Restaurant or Cafe 2 plus 1 per 100sqm over 100sqm	6 Spaces
		3 Spaces

For non-residential uses, the following facilities for bike parking are to be provided at the following rates:

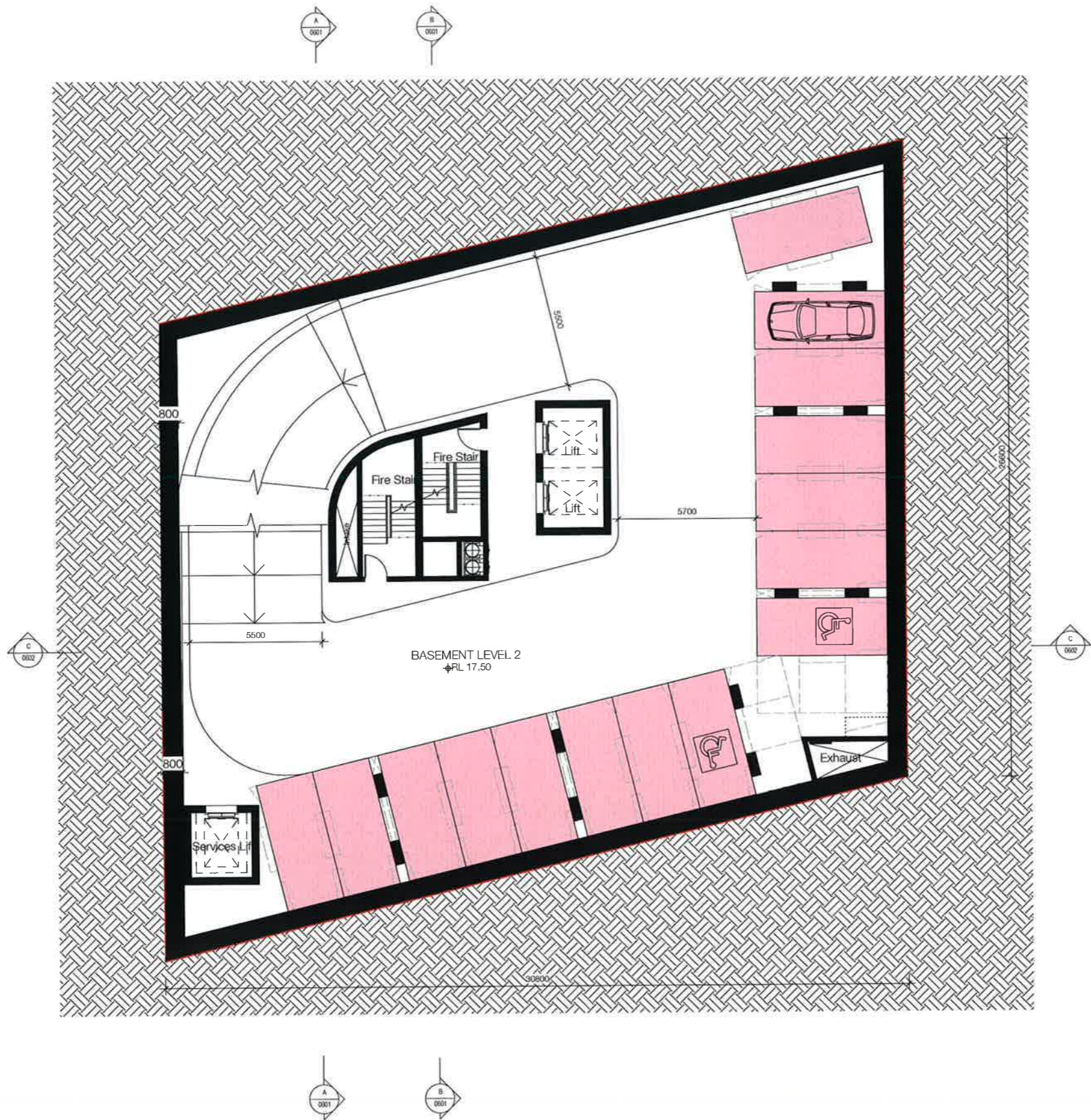
- (a) 1 personal locker for each bike parking space;
- (b) 1 shower and change cubicle for up to 10 bike parking spaces;
- (c) 2 shower and change cubicles for 11 to 20 or more bike parking spaces are provided;
- (d) 2 additional showers and cubicles for each additional 20 bike parking spaces or part thereof;
- (e) showers and change facilities may be provided in the form of shower and change cubicles in a unisex area in both female and male change rooms, and
- (f) locker, change room and shower facilities are to be located close to the bike parking area, entry and exit points and within an area of security camera surveillance where there are such building security systems.

**Carparking Provisions**

Description	Total
Residential Carparking	33
Adaptable Carpark + Shared Adjacent Space (AS2890.6)	8
Childcare Drop-off Parking	2
Childcare Staff Parking	1
Childcare Accessible Parking	1
Commercial Car parking	1
Commercial Adaptable Carpark + Shared Adjacent Space (AS2890.6)	1
Retail Carparking	2
Accessible Retail Carparking	1
Visitor Parking	7
Accessible Visitor Parking	1
	58

**Bicycle / Storage Provisions**

Description	Total
Class 1 Bicycle Storage - Residential	4
Class 1 - Residential Bicycle Storage	56
Class 2 - Staff Bicycle Parking (Double Racks located on LGF)	6
Class 3 - Visitor Bicycle Parking (Double Racks located on GF)	6
	72



Client:



Project:

MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for  
Sunny Third Regent St Pty Ltd

Drawing Name:

Floor Plan - Basement 02-03



Date: 09.10.2017 Scale: 1:100 Sheet Size: @ A1

Drawn: DS / NK Chk: SH

Job No: 5359 Drawing No: DA-0202 Revision: / 14

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3	13 01 2016	Final DA Issue	CS	SH
4	19 01 2016	DA Issue	NK	SH
5	21 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	SH	SH
8	11 11 2016	Revised DA Issue	NK	SH
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	30 06 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH

**Carparking Legend**

Residential Carparking	
Residential Visitor Carparking	
Commercial / Retail Carparking	
Commercial / Retail Carparking	
Childcare Carparking	
Car Share Bay	

**Car Parking Summary**

<b>Maximum Residential</b> (Including 8 Adaptable at 15% of Units)	<b>Total</b>
0 x Studios @ 0.2 spaces per dwelling	0
14 x 1 Bed @ 0.4 spaces per dwelling	5.6
42 x 2 Bed @ 0.8 spaces per dwelling	33.6
0 x 3 Bed @ 1.1 spaces per dwelling	0
<b>Maximum Commercial</b> (Including 1 Accessible)	
M is the maximum number of parking spaces, and G is the gross floor area of all office premises and business premises in the building in square metres, and A is the site area in square metres, and T is the total gross floor area of all buildings on the site in sq metres	
G = 1,250 sqm A = 822 sqm T = 5,754 sqm	
M = (G x A) / (50 x T)	4
M = (1,250 x 822) / (50 x 5,754) = 1,027,500 / 287,700 = 3.57	
<b>Maximum Childcare Staff</b> (Including 1 Accessible) (Including 2 Drop-off)	4
Childcare Centre 1 space plus 1 per 100sqm GFA	
1 + 2.5 = 3.5	
<b>Maximum Retail Staff</b> (Including 1 Accessible)	3
Retail 1 space per 60sqm GFA	
214sqm / 60sqm = 3.57	
<b>Visitor Parking</b> (Including 1 Accessible)	
Residential Visitor 0.167 spaces for each dwelling up to 30	5
0.1 space for each dwelling >30 and <70	2.6
<b>Car Share Bay</b>	2
Car Share Scheme	
No of Car Spaces across the development	58 + 2 Car Share

**Bicycle Parking Summary**

Class 1 Residential Bicycle parking	1 per dwelling	56 Spaces
Class 2 Staff Bicycle parking	Office or Business Premises 1 per 150sqm GFA	8 Spaces
Class 3 Visitor Bicycle parking	Residential 1 per 10 dwellings	6 Spaces
Office or Business Premises	1 per 400sqm GFA	3 Spaces
Shop, Restaurant or Cafe	2 plus 1 per 100sqm over 100sqm	3 Spaces

For non-residential uses, the following facilities for bike parking are to be provided at the following rates:

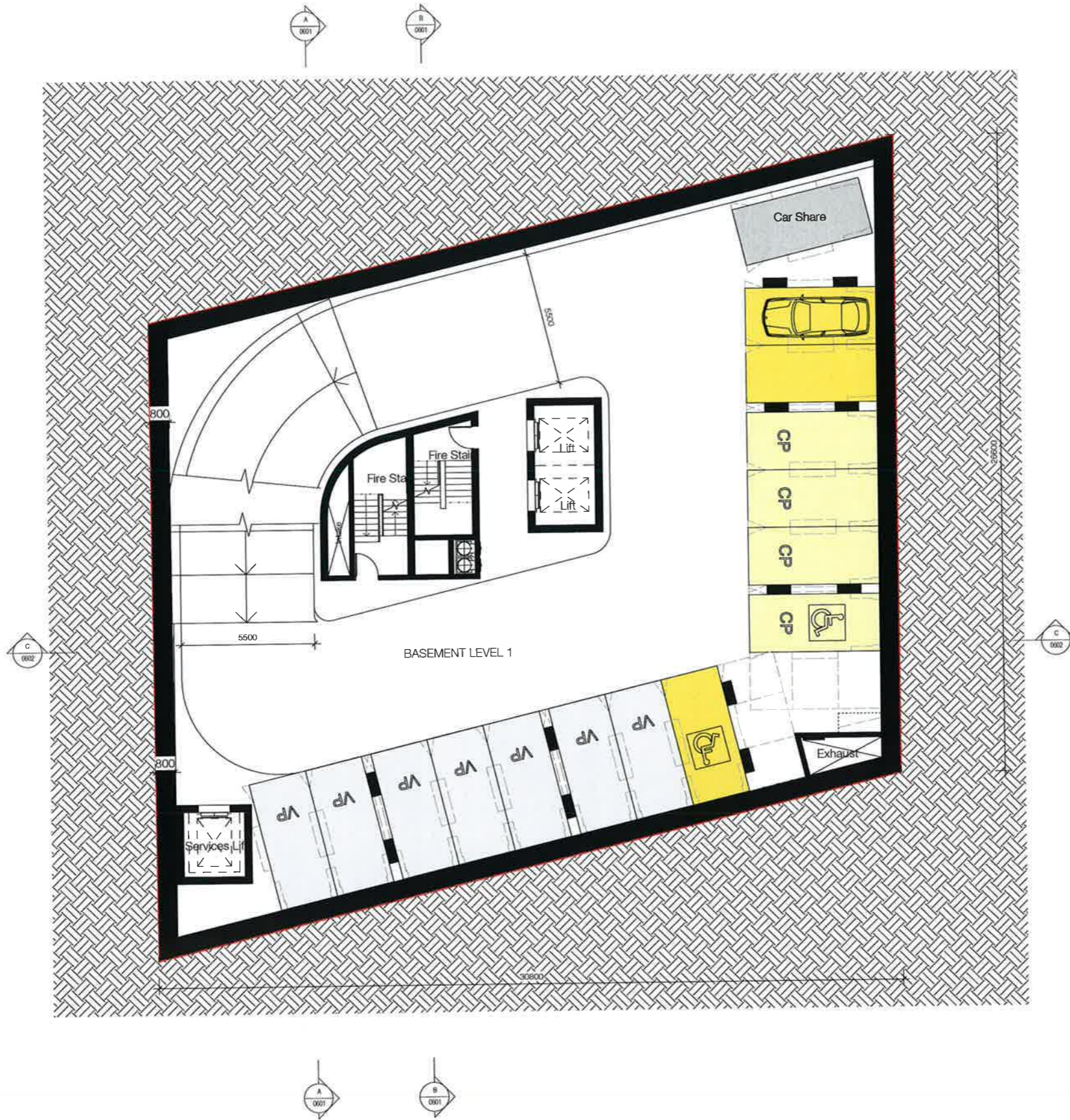
- 1 personal locker for each bike parking space;
- 1 shower and change cubicle for up to 10 bike parking spaces;
- 2 shower and change cubicles for 11 to 20 or more bike parking spaces are provided;
- 2 additional showers and cubicles for each additional 20 bike parking spaces or part thereof;
- showers and change facilities may be provided in the form of shower and change cubicles in a unisex area in both female and male change rooms; and
- locker, change room and shower facilities are to be located close to the bike parking area, entry and exit points and within an area of security camera surveillance where there are such building security systems.

**Carparking Provisions**

Description	Total
Residential Carparking	31
Adaptable Carpark + Shared Adjacent Space (AS2690.6)	8
Childcare Drop-off Parking	2
Childcare Staff Parking	1
Childcare Accessible Parking	1
Commercial Car parking	3
Commercial Adaptable Carpark + Shared Adjacent Space (AS2890.6)	1
Retail Carparking	2
Accessible Retail Carparking	1
Visitor Parking	7
Accessible Visitor Parking	1
<b>Total</b>	<b>58</b>

**Bicycle / Storage Provisions**

Description	Total
Class 1 Bicycle Storage - Residential	4
Class 1 - Residential Bicycle Storage	56
Class 2 - Staff Bicycle Parking (Double Racks located on LGF)	6
Class 3 - Visitor Bicycle Parking (Double Racks located on GF)	6
<b>Total</b>	<b>72</b>



Client



Project  
MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

Drawing Name  
Floor Plan - Basement 01

Date: 09.10.2017  
Scale: 1 : 100  
Sheet Size: @ A1

Drawn: NK  
Chk: AH

Job No: 5359  
Drawing No: DA-0203  
Revision: / 14

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Nominated Architects: Adam Haddow-7186 | John Pradel-7004

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3	13 01 2016	Final DA Issue	DS	SH
4	19 01 2016	DA Issue	NK	SH
5	21 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	SH	SH
8	11 11 2016	Revised DA Issue	SH	SH
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	30 06 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH

**Carparking Legend**

Residential Carparking	
Residential Visitor Carparking	
Commercial / Retail Carparking	
Commercial / Retail Carparking	
Childcare Carparking	
Car Share Bay	

**Car Parking Summary**

Category	Details	Total
Maximum Residential (Including 8 Adaptable at 15% of Units)	0 x Studios @ 0.2 spaces per dwelling	0
	14 x 1 Bed @ 0.4 spaces per dwelling	5.6
	42 x 2 Bed @ 0.8 spaces per dwelling	33.6
	0 x 3 Bed @ 1.1 spaces per dwelling	0
<b>Maximum Commercial (Including 1 Accessible)</b>		<b>39</b>
<p>M is the maximum number of parking spaces, and G is the gross floor area of all office premises and business premises in the building in square metres, and A is the site area in square metres, and T is the total gross floor area of all buildings on the site in sq metres</p> <p><math>G = 1,250 \text{ sqm}</math>  <math>A = 822 \text{ sqm}</math>  <math>T = 5,754 \text{ sqm}</math></p> <p><math>M = (G \times A) / (50 \times T)</math>  <math>M = (1,250 \times 822) / (50 \times 5,754) = 1,027,500 / 287,700 = 3.57</math></p>		
Maximum Childcare Staff (Including 1 Accessible) (Including 2 Drop-off)	Childcare Centre 1 space plus 1 per 100sqm GFA 1 + 2.5 = 3.5	4
Maximum Retail Staff (Including 1 Accessible)	Retail 1 space per 60sqm GFA 214sqm / 60sqm = 3.57	3
Visitor Parking (Including 1 Accessible)	Residential Visitor 0.167 spaces for each dwelling up to 30 0.1 space for each dwelling >30 and <70	= 5 = 2.6
	Car Share Bay	Car Share Scheme
No of Car Spaces across the development		58 + 2 Car Share

**Bicycle Parking Summary**

Class 1 Residential Bicycle parking	1 per dwelling	56 Spaces
Class 2 Staff Bicycle parking	Office or Business Premises 1 per 150sqm GFA	8 Spaces
Class 3 Visitor Bicycle parking	Shop, Restaurant or Cafe 1 per 250sqm GFA	3 Spaces
Class 3 Visitor Bicycle parking	Residential 1 per 10 dwellings	6 Spaces
Class 3 Visitor Bicycle parking	Office or Business Premises 1 per 400sqm GFA	3 Spaces
Class 3 Visitor Bicycle parking	Shop, Restaurant or Cafe 2 plus 1 per 100sqm over 100sqm	3 Spaces

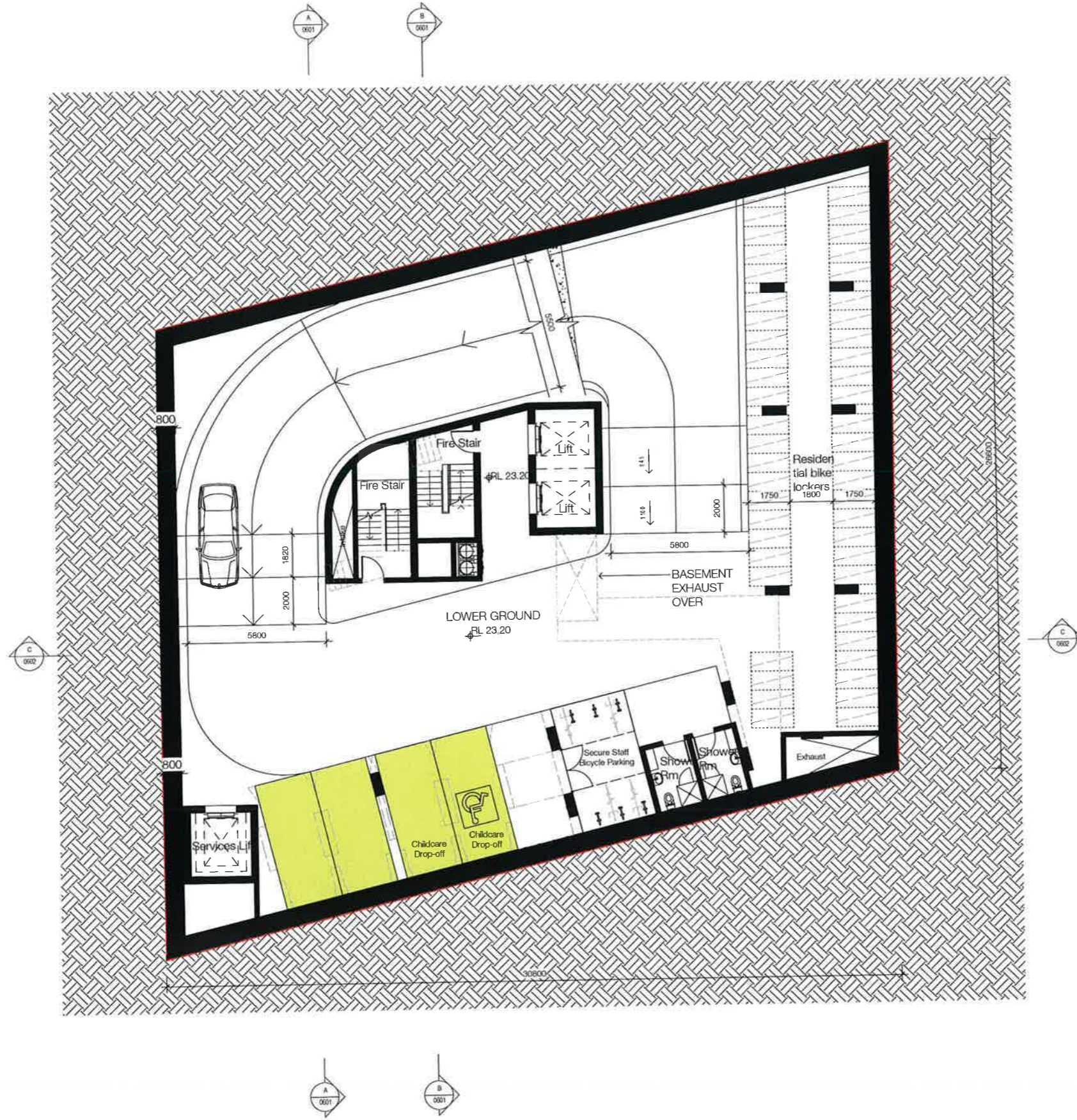
For non-residential uses, the following facilities for bike parking are to be provided at the following rates:  
 (a) 1 personal locker for each bike parking space;  
 (b) 1 shower and change cubicle for up to 10 bike parking spaces;  
 2 shower and change cubicles for 11 to 20 or more bike parking spaces are provided;  
 (c) 2 additional showers and cubicles for each additional 20 bike parking spaces or part thereof;  
 (d) showers and change facilities may be provided in the form of shower and change cubicles in a unisex area in both female and male change rooms, and  
 (e) locker, change room and shower facilities are to be located close to the bike parking area, entry and exit points and within an area of security camera surveillance where there are such building security systems.

**Carparking Provisions**

Description	Total
Residential Carparking	31
Adaptable Carpark - Shared Adjacent Space (AS2890.6)	8
Childcare Drop-off Parking	2
Childcare Staff Parking	1
Childcare Accessible Parking	1
Commercial Car parking	3
Commercial Adaptable Carpark + Shared Adjacent Space (AS2890.6)	1
Retail Carparking	2
Accessible Retail Carparking	1
Visitor Parking	7
Accessible Visitor Parking	1
<b>Total</b>	<b>58</b>

**Bicycle / Storage Provisions**

Description	Total
Class 1 Bicycle Storage - Residential	4
Class 1 - Residential Bicycle Storage	56
Class 2 - Staff Bicycle Parking (Double Racks located on LGF)	6
Class 2 - Visitor Bicycle Parking (Double Racks located on GF)	6
<b>Total</b>	<b>72</b>



Client



Project

MILLIGAN - Regent Street, Redfern  
 80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

Drawing Name

Floor Plan - Lower Ground

Date: 09.10.2017  
 Scale: 1 : 100  
 Sheet Size: @ A1

Drawn: NK  
 Chk: AH

Job No.: 5359  
 Drawing No.: DA-0204 / 14  
 Revision:

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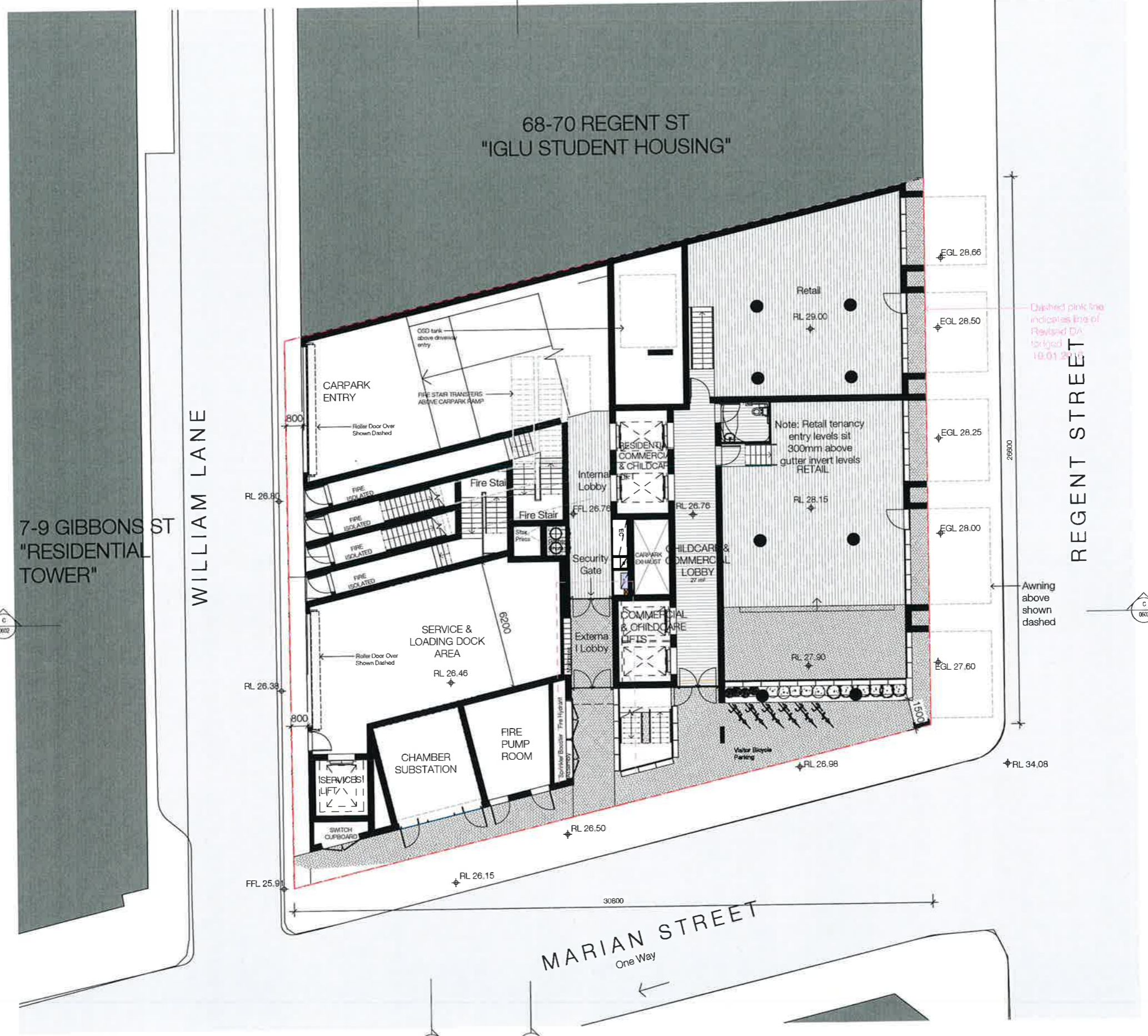


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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

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Rev	Date	Revision	By	CHK
3	13 01 2016	Draft DA Issue	DS	SH
4	19 01 2016	DA Issue	NK	SH
5	21 03 2016	Revised DA Issue	SH	SH
6	19 07 2016	Revised DA Issue	SH	SH
7	10 10 2016	Issue for Information	NK	AH
8	11 11 2016	Revised DA Issue	NK	AH
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	20 08 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH



**KEY**

- - - - - Line of building - DA as lodged 07/11/2016
- - - - - Line of building - DA as lodged 19/01/2016

Client



Project

MILLIGAN - Regent Street, Redfern

80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

Drawing Name

Floor Plan - Ground Floor

Date: 09.10.2017  
Scale: 1 : 100  
Sheet Size: @ A1

Drawn: NK  
Chk: AH

Job No: 5359  
Drawing No: DA-0205  
Revision: / 14

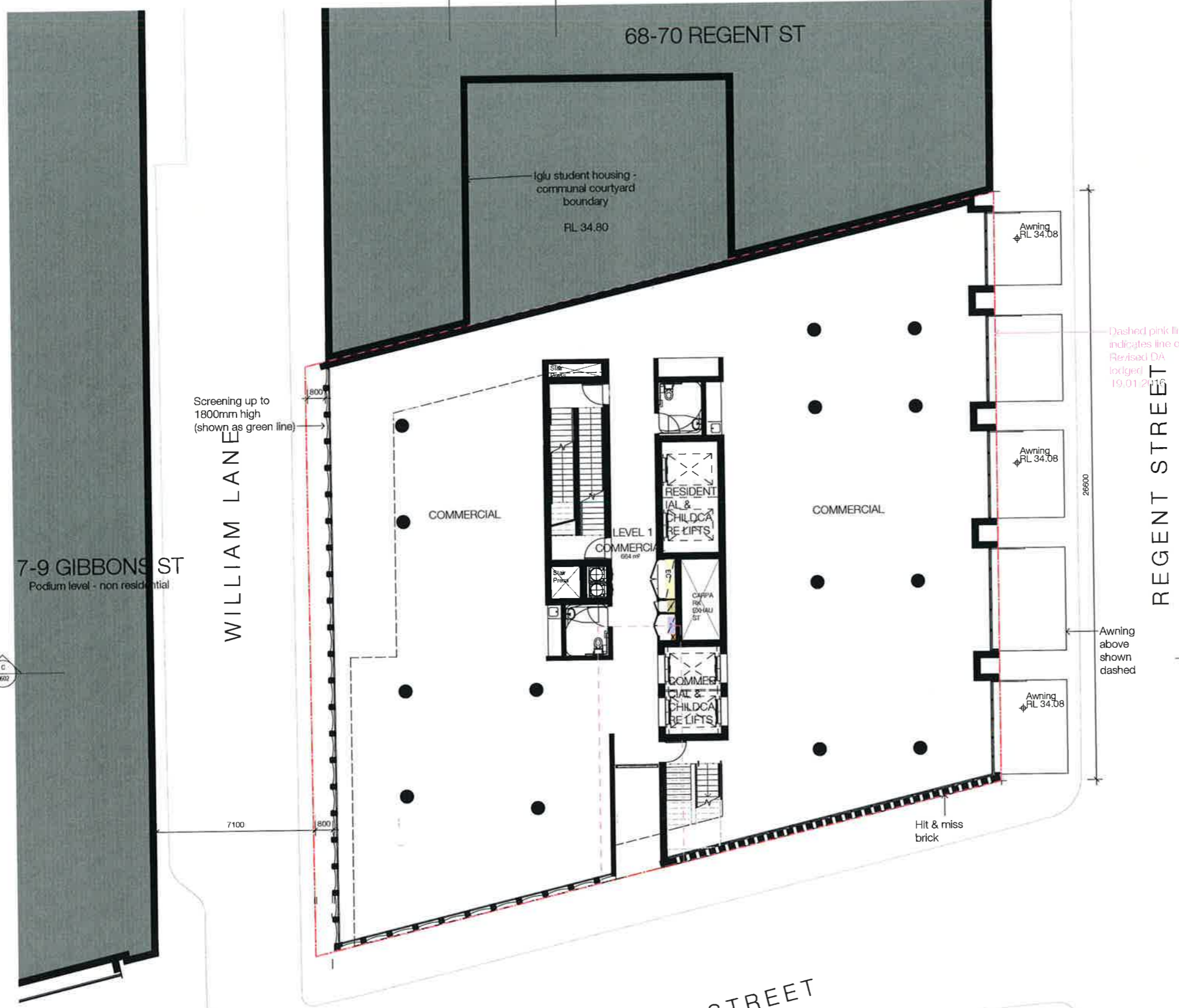
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3	13 01 2016	Draft DA Issue	DS	SH
4	19 01 2016	DA Issue	NK	SH
5	21 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	SH	SH
7	18 10 2016	Issue for Information	NK	AH
8	11 11 2016	Revised DA Issue	NK	AH
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	30 09 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH



**KEY**

- Line of building - DA as lodged 07.11.2016
- Line of building - DA as lodged 19.01.2016

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Project

MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for Sunny Thirdi Regent St Pty Ltd

Drawing Name

Floor Plan - Level 01

Date: 09.10.2017  
Scale: 1 : 100  
Sheet Size: @ A1

Drawn: DS / NK  
Chk: SH

Job No: 5359  
Drawing No: DA-0206  
Revision: / 14

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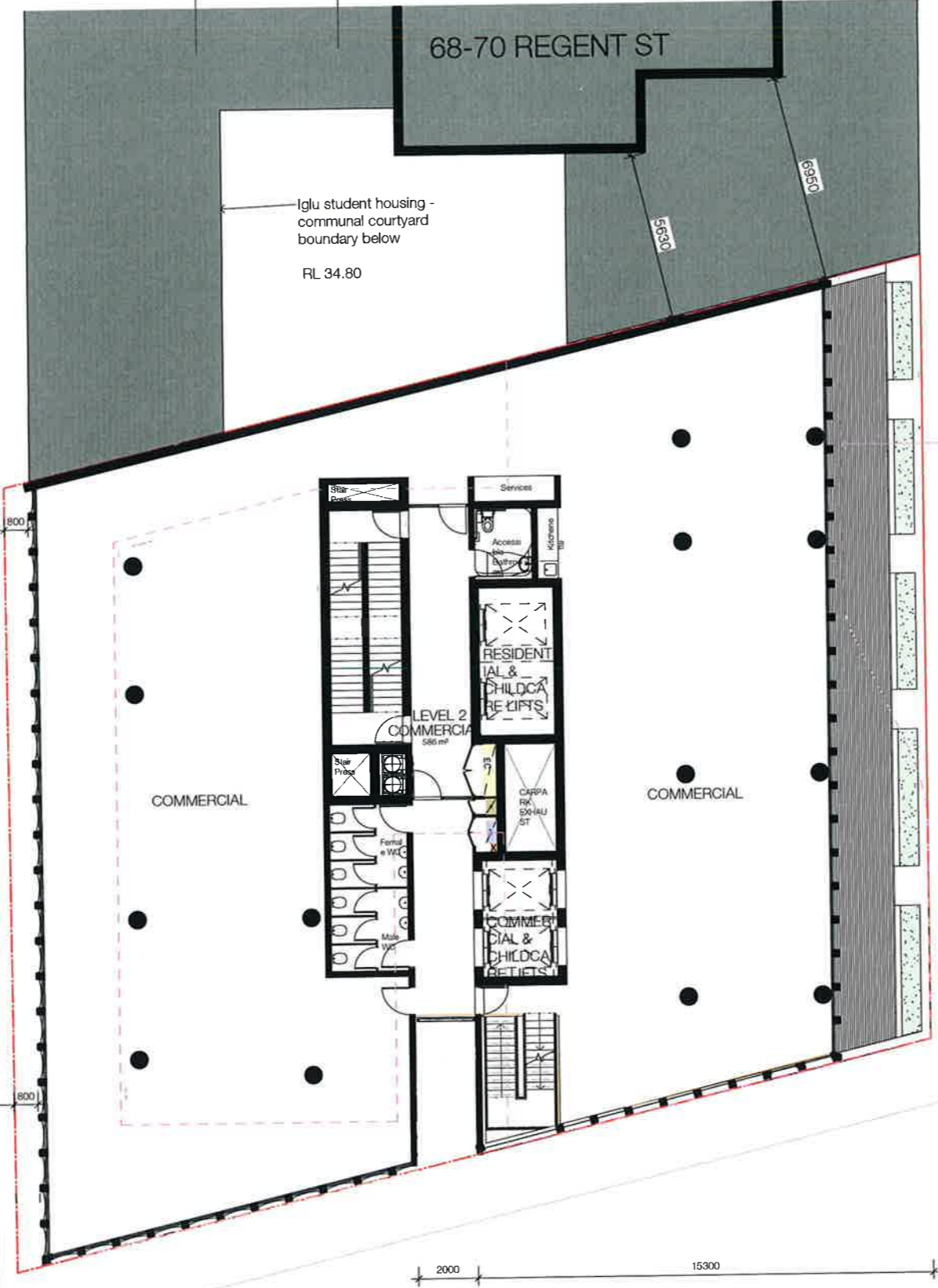
Nominated Architects: Adam Haddow-7188 | John Pradel-7004

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Rev	Date	Revision	By	CHK
3	13 01 2016	Final DA Issue	DS	SH
4	19 01 2016	DA Issue	NK	SH
5	23 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	SH	SH
7	19 10 2016	Issue for submission	NK	AH
8	11 11 2016	Revised DA Issue	NK	AH
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	20 06 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH

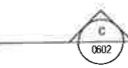


WILLIAM LANE



Dashed pink line indicates line of Revised DA lodged 19.01.2016

REGENT STREET



MARIAN STREET

**KEY**

- Line of building - DA as lodged 07 11 2016
- Line of building - DA as lodged 19 01 2016

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Project

MILLIGAN - Regent Street, Redfern

80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

Drawing Name

Floor Plan - Level 02

Date	Scale	Sheet Size
09.10.2017	1 : 100	@ A1

Drawn	Chk
DS / NK	SH

Job No.	Drawing No.	Revision
5359	DA-0207	/ 14

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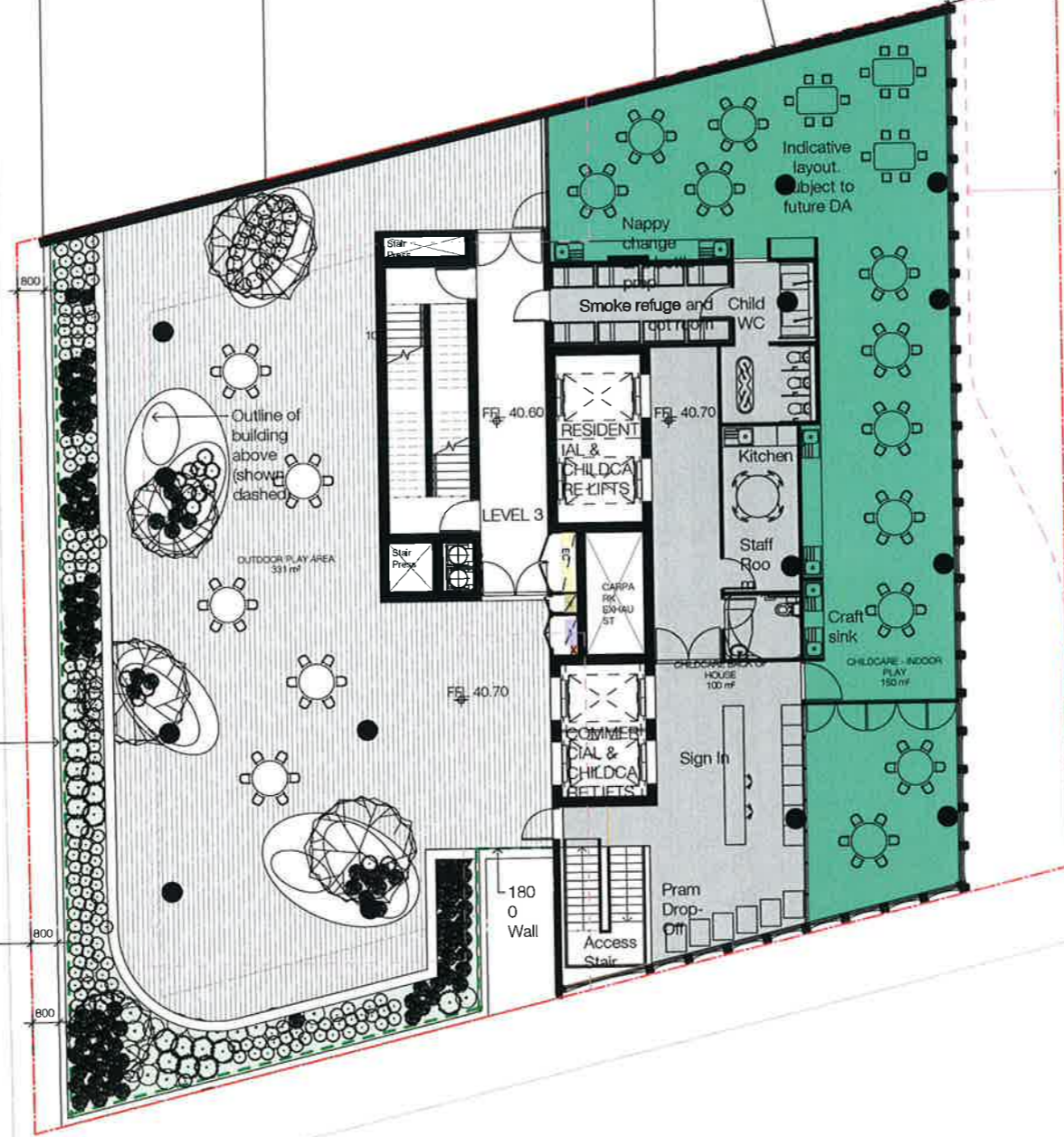
Nominated Architects: Adam Haddow-7186 | John Pradel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	CHK
5	21 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	SH	SH
7	19 10 2016	Issue for Information	NK	AH
8	11 11 2016	Revised DA Issue	NK	AH
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	30 06 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH



WILLIAM LANE



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REGENT STREET

MARIAN STREET

**KEY**

- - - - - Line of building - DA as lodged 07.11.2016
- - - - - Line of building - DA as lodged 19.01.2016

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Project: MILLIGAN - Regent Street, Redfern

80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

Drawing Name: Floor Plan - Level 03

Date: 09.10.2017 Scale: 1 : 100 Sheet Size: @ A1

Drawn: NK Chk: SH

Job No. 5359 Drawing No. DA-0208 Revision / 14

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Rev	Date	Revision	By	CHK
11	07/04/2017	Revised DA Issue	SH	SH
12	30/06/2017	Revised DA Issue	SH	SH
14	09/10/2017	Revised DA Issue Room Enclosure Removed	SH	SH

**Residential Storage Provision Schedule**

Unit Type	Internal Joinery	Basement Bike Locker	Total
Lx.01 NE 2 Bed 8sqm Min	5,1 m <sup>2</sup>	3 m <sup>2</sup>	8.1 m <sup>2</sup>
Lx.02 SE 2 Bed 8sqm Min	5 m <sup>2</sup>	3 m <sup>2</sup>	8.0 m <sup>2</sup>
Lx.02 SW 1 Bed 6sqm Min	4,1 m <sup>2</sup>	3 m <sup>2</sup>	7.1 m <sup>2</sup>
Lx.02 NW 2 Bed 8sqm Min	5,5 m <sup>2</sup>	3 m <sup>2</sup>	8.5 m <sup>2</sup>

**KEY**

- - - - - Line of building - DA as lodged 07/11/2016
- - - - - Line of building - DA as lodged 19/01/2016

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Project  
MILLIGAN - Regent Street, Redfern

80-88 Regent St, Redfern for  
Sunny Thirdi Regent St Pty Ltd

Drawing Name  
Floor Plan - Level 04

Date: 09.10.2017  
Scale: As indicated  
Sheet Size: @ A1

Drawn: NK  
Chk: SH

Job No: 5359  
Drawing No: DA-0209  
Revision: / 14

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Rev	Date	Revision	By	Chk
3	13 01 2016	Draft DA Issue	DE	SH
4	19 01 2016	DA Issue	NK	SH
5	21 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	NK	AH
7	19 10 2016	Issue for Information	NK	AH
8	11 11 2016	Revised DA Issue	NK	AH
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	30 06 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH

**Xm2**  
Residential Storage Provision Schedule

Unit Type	Internal Joinery	Basement Bike Locker	Total
Lx.01 NE 2 Bed 8sqm Min	5.1 m <sup>2</sup>	3 m <sup>2</sup>	8.1 m <sup>2</sup>
Lx.02 SE 2 Bed 8sqm Min	5 m <sup>2</sup>	3 m <sup>2</sup>	8.0 m <sup>2</sup>
Lx.02 SW 1 Bed 6sqm Min	4.1 m <sup>2</sup>	3 m <sup>2</sup>	7.1 m <sup>2</sup>
Lx.02 NW 2 Bed 8sqm Min	5.5 m <sup>2</sup>	3 m <sup>2</sup>	8.5 m <sup>2</sup>

**KEY**

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- Line of building - DA as lodged 19 01 2016



**Project**  
MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for Sunny Thirdi Regent St Pty Ltd

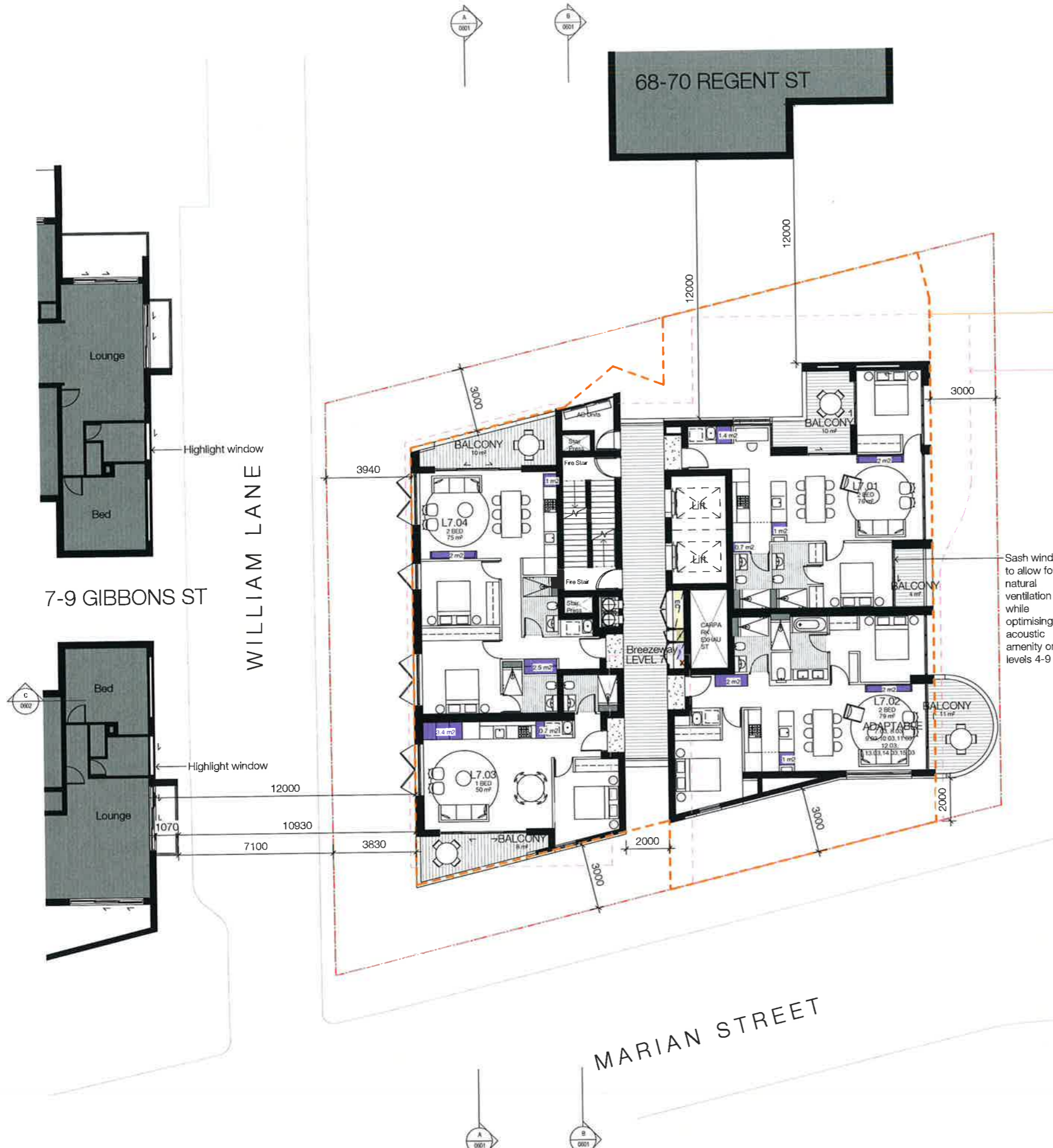
**Drawing Name**  
Floor Plan - Level 05-17

**Date** 09.10.2017  
**Scale** As indicated  
**Sheet Size** @ A1

**Drawn** DS / NK  
**Chk** SH

**Job No** 5359  
**Drawing No** DA-0210  
**Revision** / 14

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**BASIX thermal comfort inclusions**

Glazing Doors/windows: Aluminum framed single clear glazing to all units.  
 U-Value: 6.70 (equal to or lower than) SHGC 0.70 (±10%) B - sliding doors/windows + fixed glazing + louvers windows  
 U-Value: 6.70 (equal to or lower than) SHGC 0.59 (±10%) A - awning windows + hinged glazed doors  
 Gven values are NIRC, total window values  
 Default colour modelled

Roof: Concrete roof no insulation  
 Default colour modelled

Ceiling: Plasterboard ceiling no insulation where exposed roof above  
 Plasterboard ceiling no insulation where neighbouring units are above  
 Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and assume non-ventilated LED down lights

External wall: Brick veneer with R2.0 insulation (insulation only value)  
 Default colour modelled

Inter tenancy walls: 75 mm Hebel power panel wall - acoustic insulation as required

Walls with in dwelling: Plasterboard on studs - no insulation

Floors: Concrete - suspended open subfloor with an R1.2 insulation required to units 401 and 404  
 Concrete between levels no insulation

Floor coverings: Carpet to bedrooms, tiles to bathrooms and laundry timber elsewhere

**BASIX water inclusions**

Central rainwater storage: Not required to pens BASIX

Fire sprinkler system: Fire sprinkler test water contained in a closed loop system

**BASIX energy inclusions**

Hot water system: Central gas feed boiler with R1.0 (-38mm) insulation to ring main and supply main

Alternative energy: 10kWp PV system



MARIAN STREET

REGENT STREET

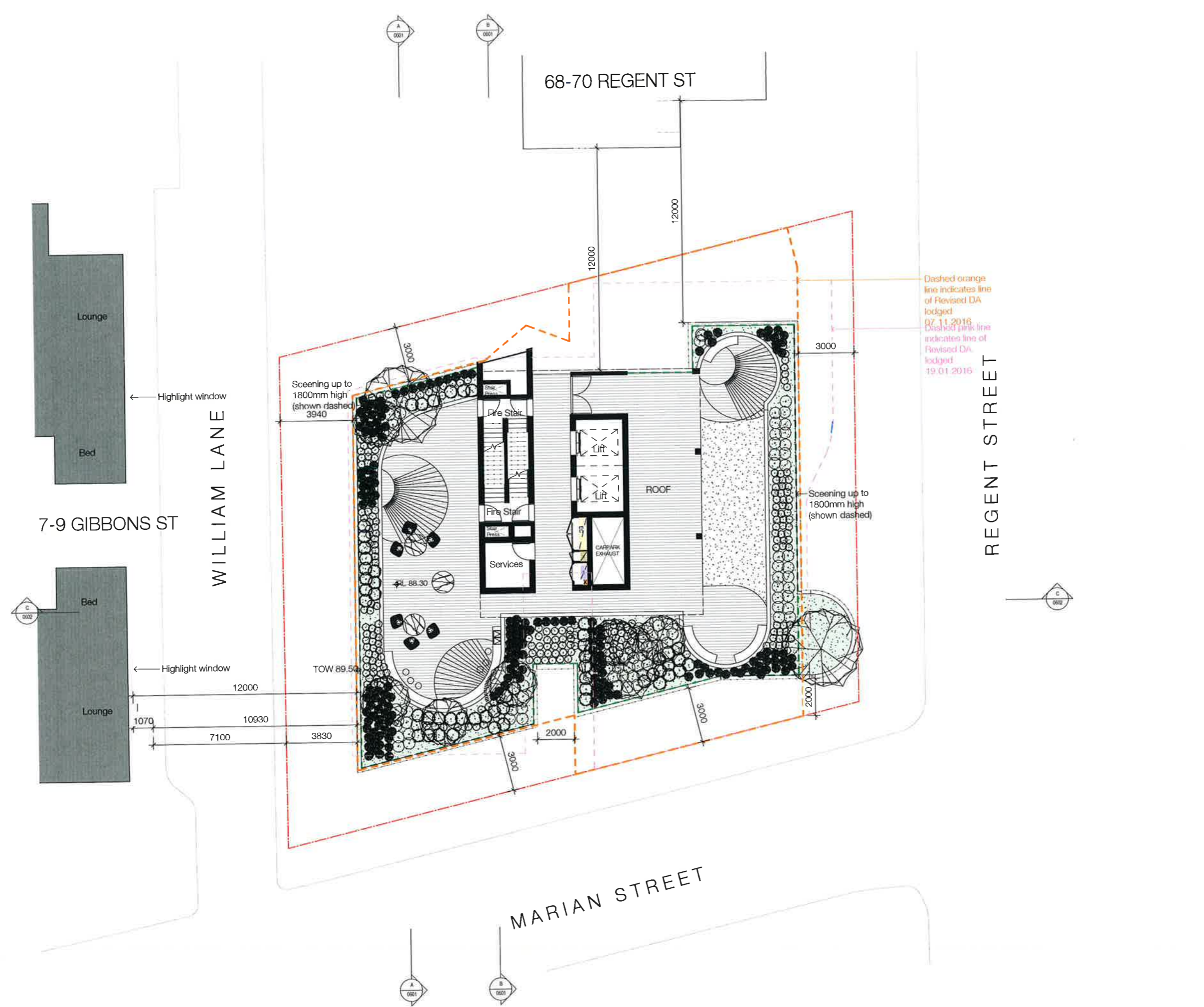
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3	13 01 2016	Draft DA Issue	DS	SH
4	19 01 2016	DA Issue	NK	SH
5	21 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	SH	SH
8	11 11 2016	Revised DA Issue	NK	AH
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	30 05 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH



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**KEY**

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Project  
 MILLIGAN - Regent Street, Redfern  
 80-88 Regent St, Redfern for Sunny Thirdi Regent St Pty Ltd

Drawing Name  
 Roof Plan

Date: 09.10.2017  
 Scale: 1 : 100  
 Sheet Size: @ A1

Drawn: NK  
 Chk: AH

Job No: 5359  
 Drawing No: DA-0211  
 Revision: / 14

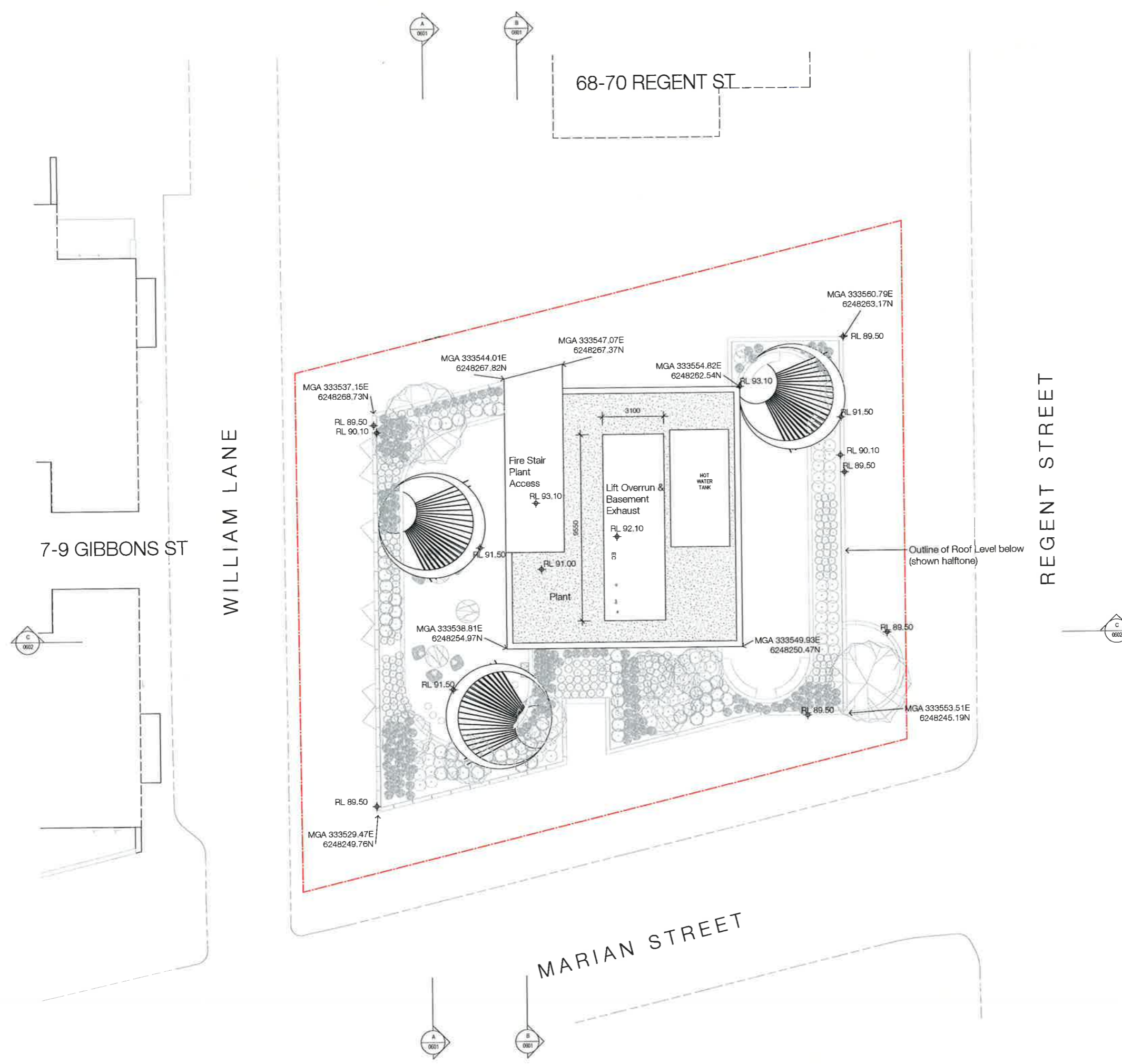
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Rev	Date	Revision	By	Chk
3	13 01 2016	Draft DA Issue	DS	SH
4	19 01 2016	DA Issue	NK	SH
5	21 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	SH	SH
8	11 11 2016	Revised DA Issue	NK	SH
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	30 06 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH



**KEY**

- - - - - Line of building - DA as lodged 07/11/2016
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Project  
**MILLIGAN - Regent Street, Redfern**  
 80-88 Regent St, Redfern for  
 Sunny Thirdi Regent St Pty Ltd

Drawing Name  
**Roof Top Plant Plan**

Date: 09.10.2017  
 Scale: 1 : 100  
 Sheet Size: @ A1

Drawn: NK  
 Chk: AH

Job No: 5359  
 Drawing No: DA-0212 / 14  
 Revision: / 14

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Rev	Date	Revision	By	Chk
1	23 11 2015	Consultant Issue	SH	
2	13 01 2016	Draft DA Issue	DS	SH
3	19 01 2016	DA Issue	NK	SH
4	21 05 2016	Revised DA Issue	SH	SH
5	15 07 2016	Revised DA Issue	SH	SH
6	11 11 2016	Revised DA Issue	NK	SH
7	07 04 2017	Revised DA Issue	SH	SH
8	30 06 2017	Revised DA Issue	SH	SH
9	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH

**External Finishes Schedule**

BR:01	-	Hit & Miss
BR:02	-	Face Brick
CN:01	-	Concrete Finish Type 1
CN:02	-	Concrete Finish Type 2
CN:03	-	Concrete Finish Type 3 (textured)
CN:04	-	Concrete Finish Type 4 (tinted)
MS:01	-	Perforated Metal Screening
MS:02	-	Expanded Metal Screening
MC:01	-	Metal Paint Finish -Black
GL:01	-	Glass Type 01-Clear
GL:02	-	Glass Type 02-Tinted (copper)
GL:03	-	Glass Type 03-Tinted (grey)
PT:01	-	Paint Finish - White
PT:02	-	Paint Finish -Black
TB:01	-	Timber Cladding

**KEY**

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Project  
MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for Sunny Thirdi Regent St Pty Ltd

Drawing Name  
Elevations - East & West

Date  
09.10.2017

Scale  
As indicated

Sheet Size  
@ A1

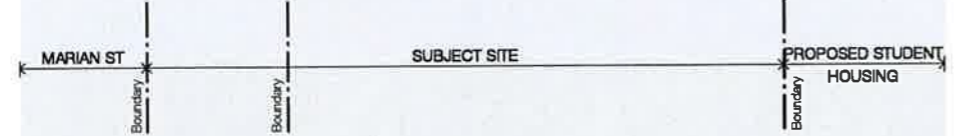
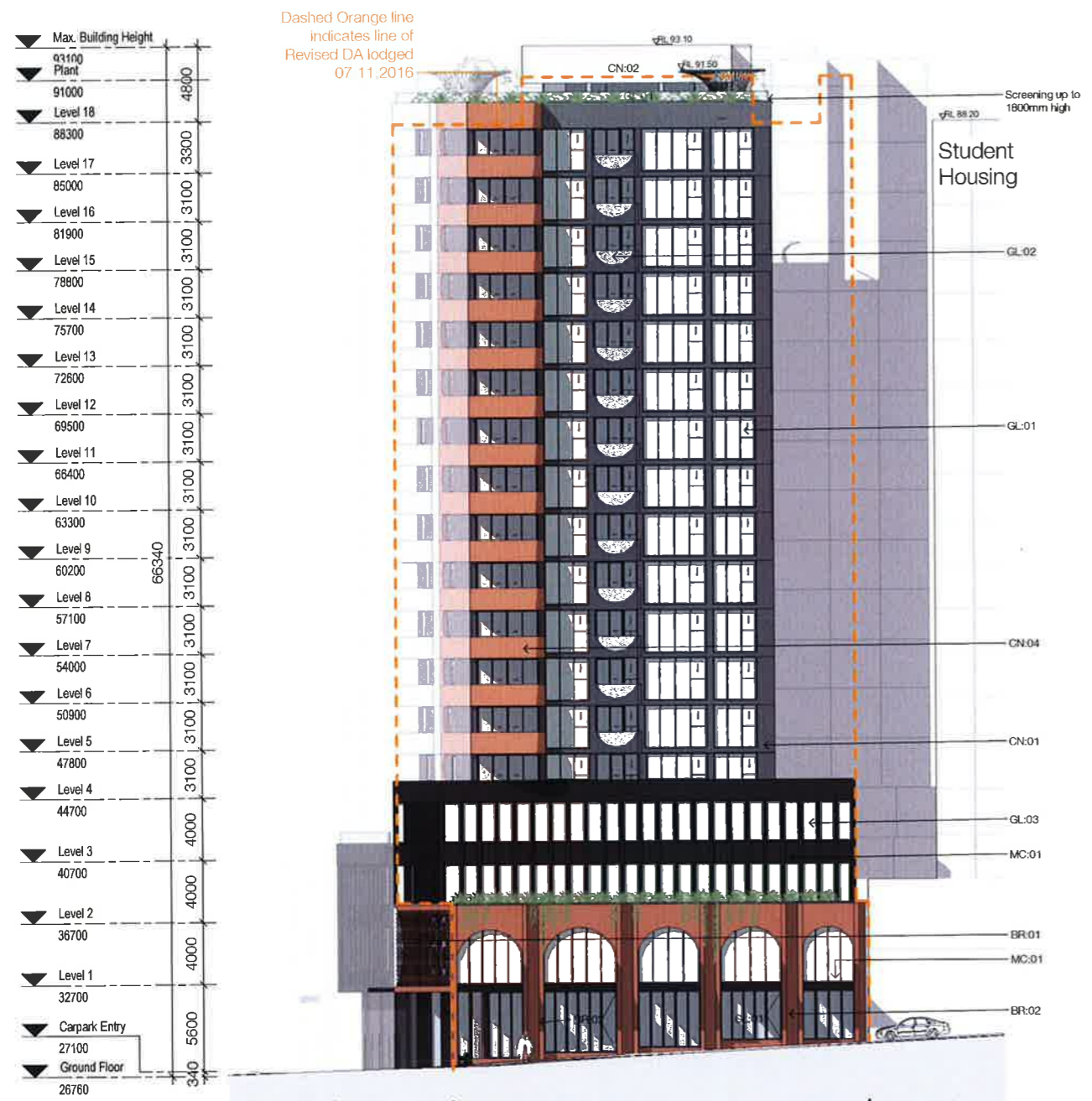
Drawn  
NK

Chk.  
AH

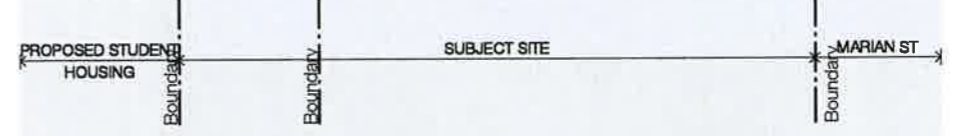
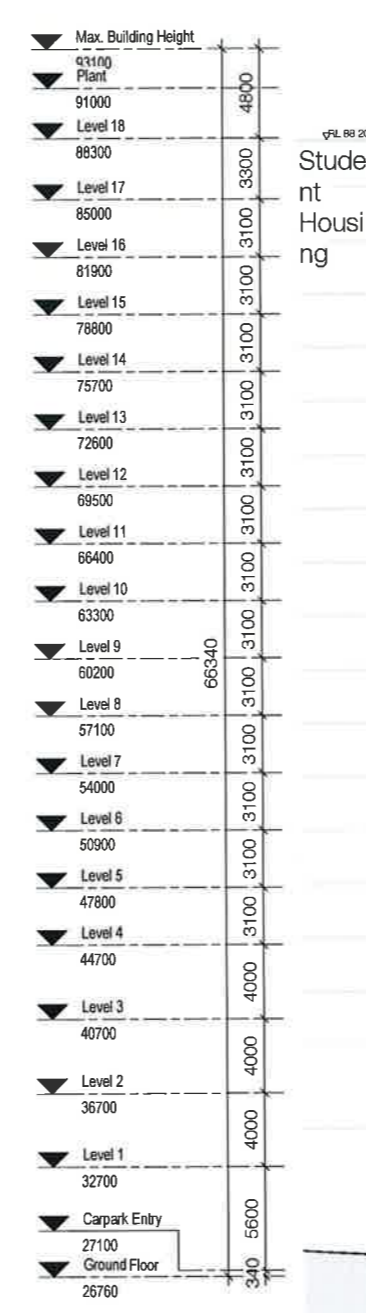
Job No.  
5359

Drawing No.  
DA-0501

Revision  
/ 14



**1 East Elevation**  
1: 200@A1



**2 West Elevation**  
1: 200@A1

Dashed Orange line indicates line of Revised DA lodged 07.11.2016

Screening up to 1800mm high GL:01

CN:0 2

MS:01

ROLLER DOOR TO MATCH MS:01

GL:0 1

MS:0 2

CN:0 2

Screening up to 1800mm high

GL:0 1

MC:0 1

GL:0 3

MS:01 fixed to CN:01

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Nominated Architects: Adam Haddock-7188 | John Prodel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	Chk
1	23.11.2015	Consultant Issue	SH	
3	13.01.2016	Draft DA Issue	DS	SH
4	19.01.2016	DA Issue	NK	SH
5	21.05.2016	Revised DA Issue	SH	SH
6	15.07.2016	Revised DA Issue	SH	SH
8	11.11.2016	Revised DA Issue	NK	SH
11	07.04.2017	Revised DA Issue	SH	SH
12	20.06.2017	Revised DA Issue	SH	SH
14	09.10.2017	Revised DA Issue Roof Enclosure Removal	SH	SH

**External Finishes Schedule**

BR:01	Ht & Miss
BR:02	Face Brick
CN:01	Concrete Finish Type1
CN:02	Concrete Finish Type2
CN:03	Concrete Finish Type 3 (textured)
CN:04	Concrete Finish Type 4 (tinted)
MS:01	Expanded Metal Screening
MS:02	Perforated Metal Screening
MC:01	Metal Paint Finish -Black
GL:01	Glass Type 01-Clear
GL:02	Glass Type 02-Tinted (copper)
GL:03	Glass Type 03-Tinted (grey)
PT:01	Paint Finish - White
PT:02	Paint Finish -Black
TB:01	Timber Cladding

**KEY**

- - - - - Line of building - DA as lodged 07.11.2016
- — — — — Line of building - DA as lodged 09.01.2016

Client



Project  
MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

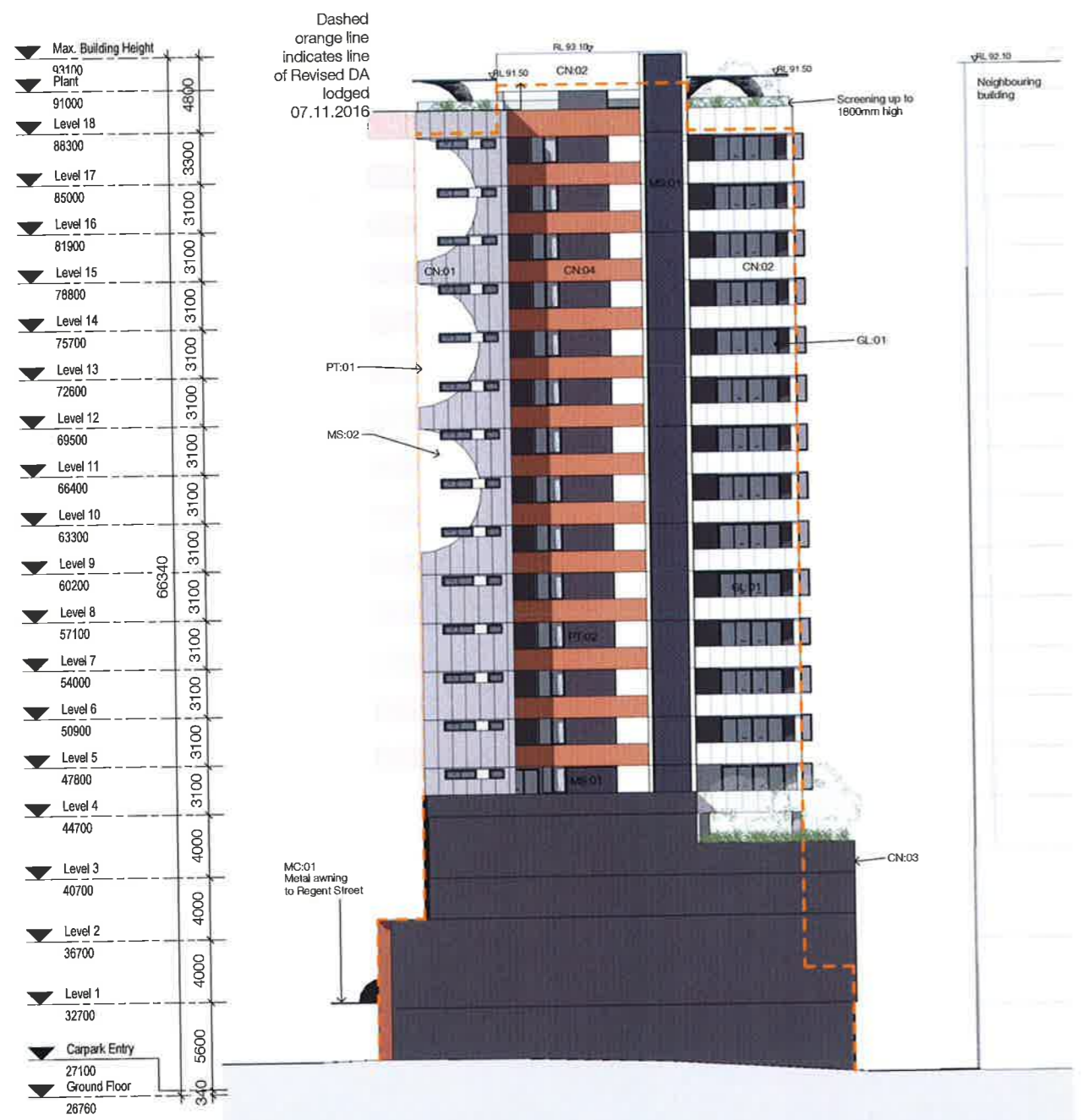
Drawing Name  
Elevations - North & South

Date 09.10.2017 Scale As indicated Sheet Size @ A1

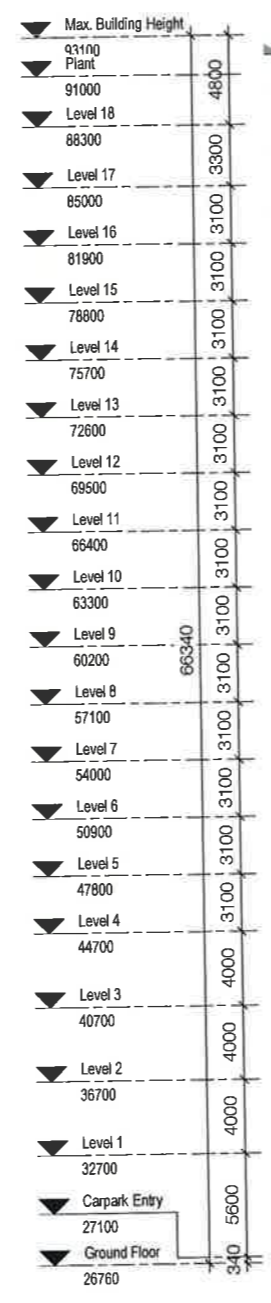
Drawn DS Chk SH

Job No. 5359 Drawing No. DA-0502 Revision / 14

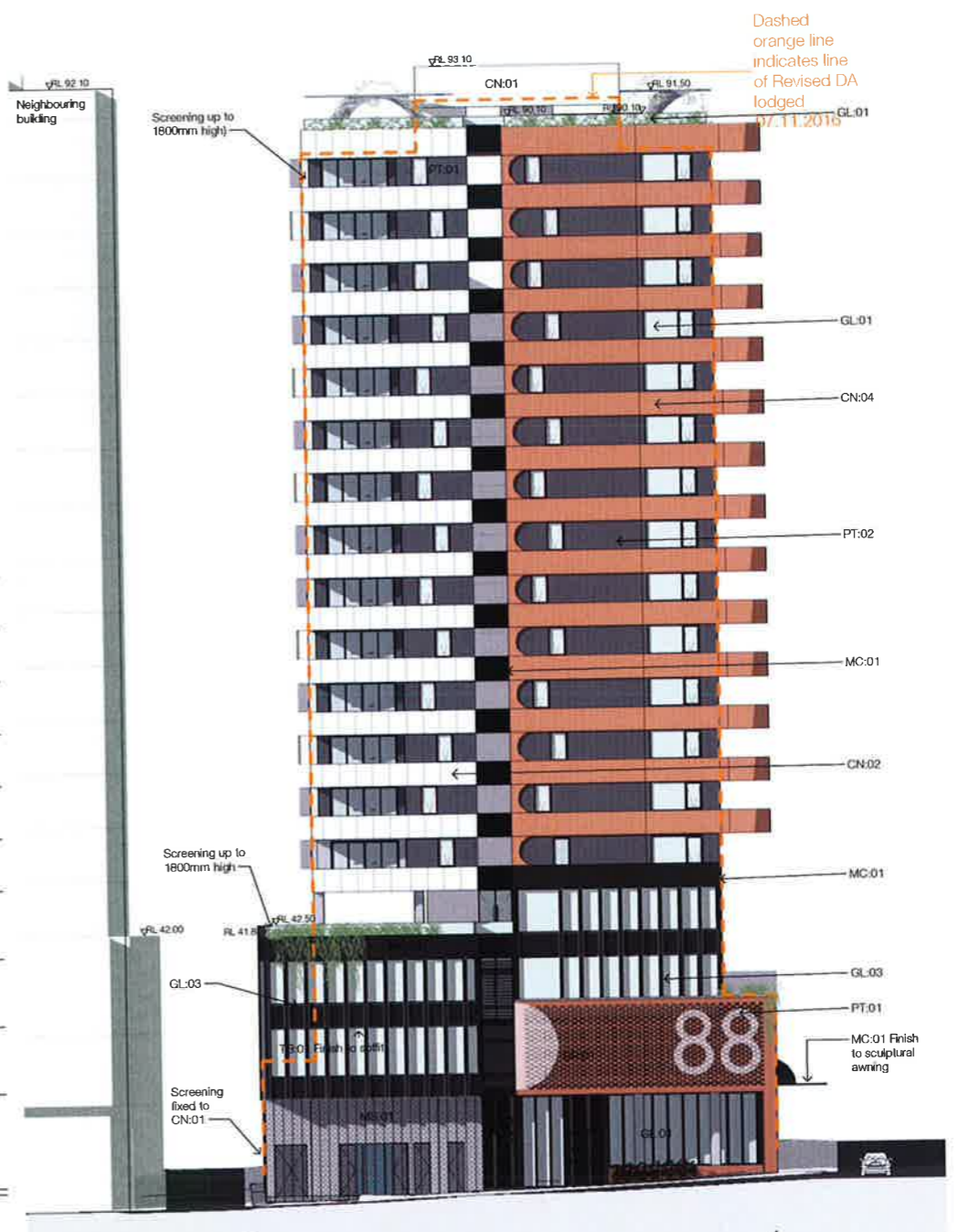
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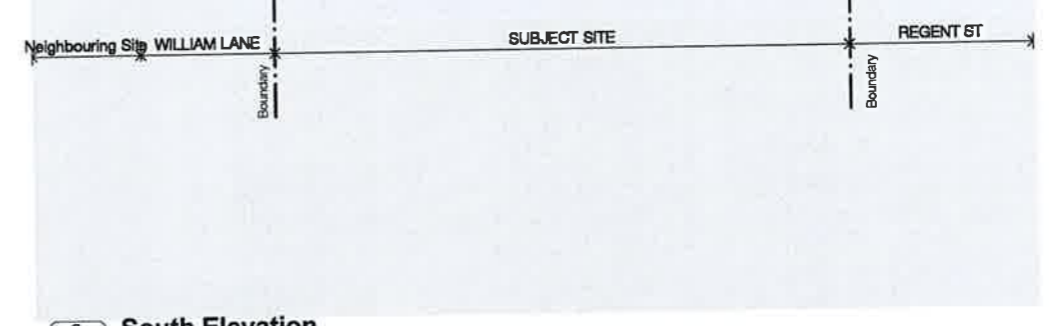
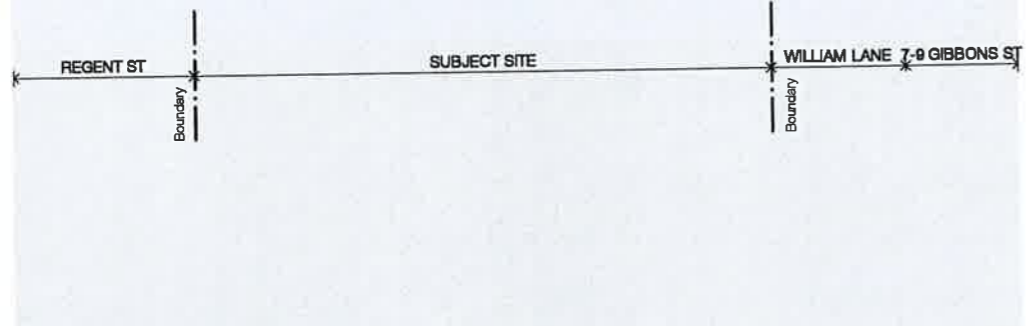
**1 North Elevation**  
1:200@A1



**2 South Elevation**  
1:200@A1



Dashed orange line indicates line of Revised DA lodged 07.11.2016



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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	Chk
11	07 04 2017	Revised DA Issue	SH	SH
12	30 06 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH

External Finishes Schedule

BR:01	Hi & Miss
BR:02	Face Brick
CN:01	Concrete Finish Type 1
CN:02	Concrete Finish Type 2
CN:03	Concrete Finish Type 3 (textured)
CN:04	Concrete Finish Type 4 (tinted)
MS:01	Expanded Metal Screening
MS:02	Perforated Metal Screening
MC:01	Metal Paint Finish -Black
GL:01	Glass Type 01-Clear
GL:02	Glass Type 02-Tinted (copper)
GL:03	Glass Type 03-Tinted (grey)
PT:01	Paint Finish - White
PT:02	Paint Finish -Black
TB:01	Timber Cladding



Client



Project

MILLIGAN - Regent Street, Redfern  
 80-88 Regent St, Redfern for  
 Sunny Thirdl Regent St Pty Ltd

Drawing Name

External Finishes

Date	Scale	Sheet Size
09.10.2017	1 : 200	@ A1

Drawn	Chk
NK	AH

Job No	Drawing No	Revision
5359	DA-0550	/ 14

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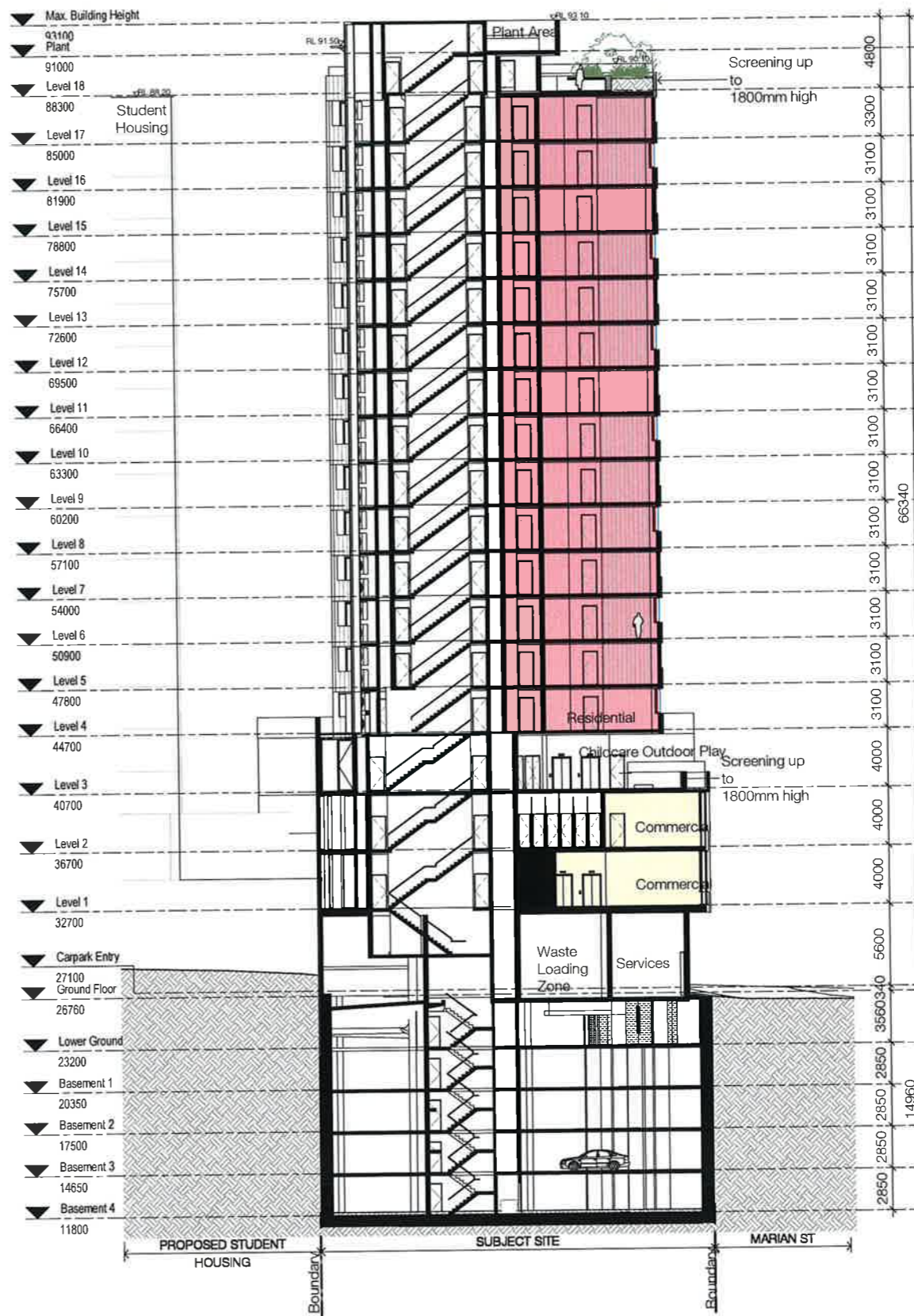
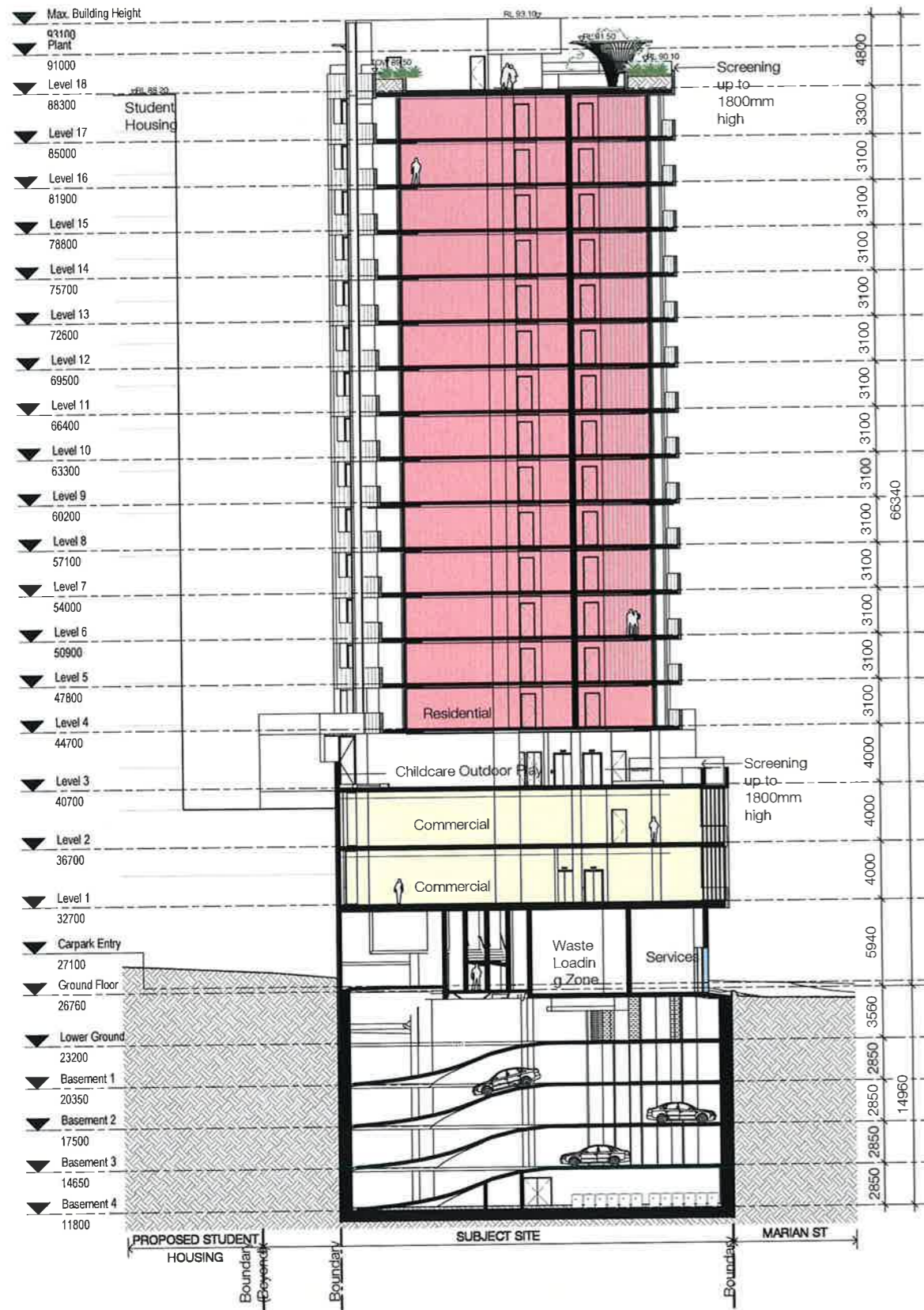


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Nominated Architects: Adam Haddow 7188 | John Pradel 7004

**FOR APPROVAL**

Rev.	Date	Revision	By	Chk
3	13 01 2016	Issue DA Issue	DS	SH
4	19 01 2016	DA Issue	TK	SH
5	21 05 2016	Revised DA Issue	SH	SH
6	19 07 2016	Revised DA Issue	SH	SH
8	11 11 2016	Revised DA Issue	TK	SH
11	07 08 2017	Revised DA Issue	SH	SH
12	30 06 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Renovation	SH	SH



**KEY**

- Line of Building - DA as lodged 07.11.2016
- Line of Building - DA as lodged 19.01.2016

Client:



Project: MILLIGAN - Regent Street, Redfern

80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

Drawing Name:

Sections - A & B

Date: 09.10.2017 Scale: As indicated Sheet Size: @ A1

Drawn: DS Chk: SH

Job No: 5359 Drawing No: DA-0601 Revision: / 14

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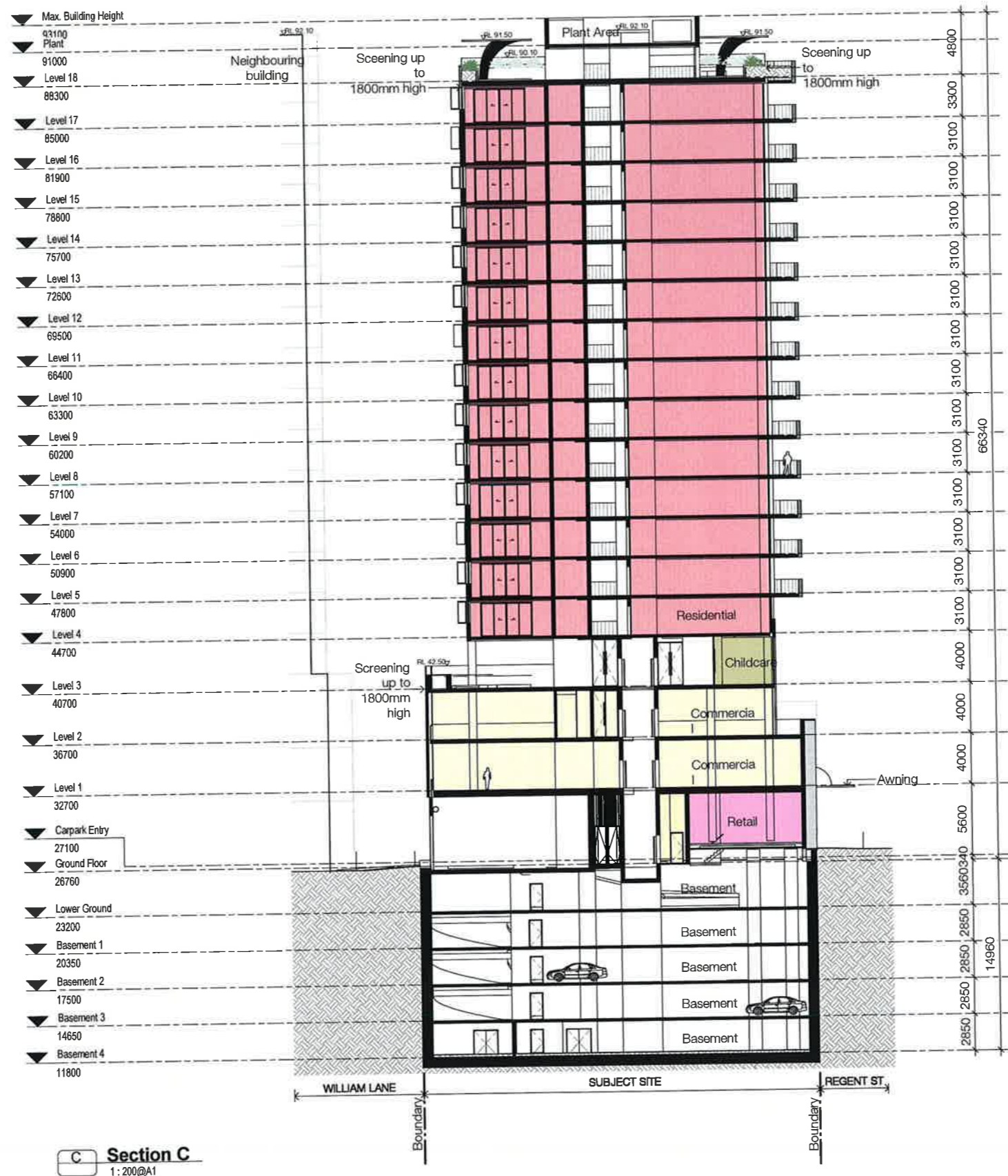


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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	Chk
3	13 01 2016	Final DA Issue	DS	SH
4	19 01 2016	DA Issue	NK	SH
5	21 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	NK	SH
8	11 11 2016	Revised DA Issue	SH	SH
11	07 04 2017	Revised DA Issue	NK	SH
12	20 06 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Foot Enclosure Removed	SH	SH



**C Section C**  
1:200@A1

**KEY**

- - - - - Line of building - DA as lodged 07.11.2016
- - - - - Line of building - DA as lodged 19.01.2016

Client



Project  
MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

Drawing Name  
Sections - C

Date: 09.10.2017  
Scale: As indicated  
Sheet Size: @ A1

Drawn: DS  
Chk: SH

Job No: 5359  
Drawing No: DA-0602  
Revision: / 14

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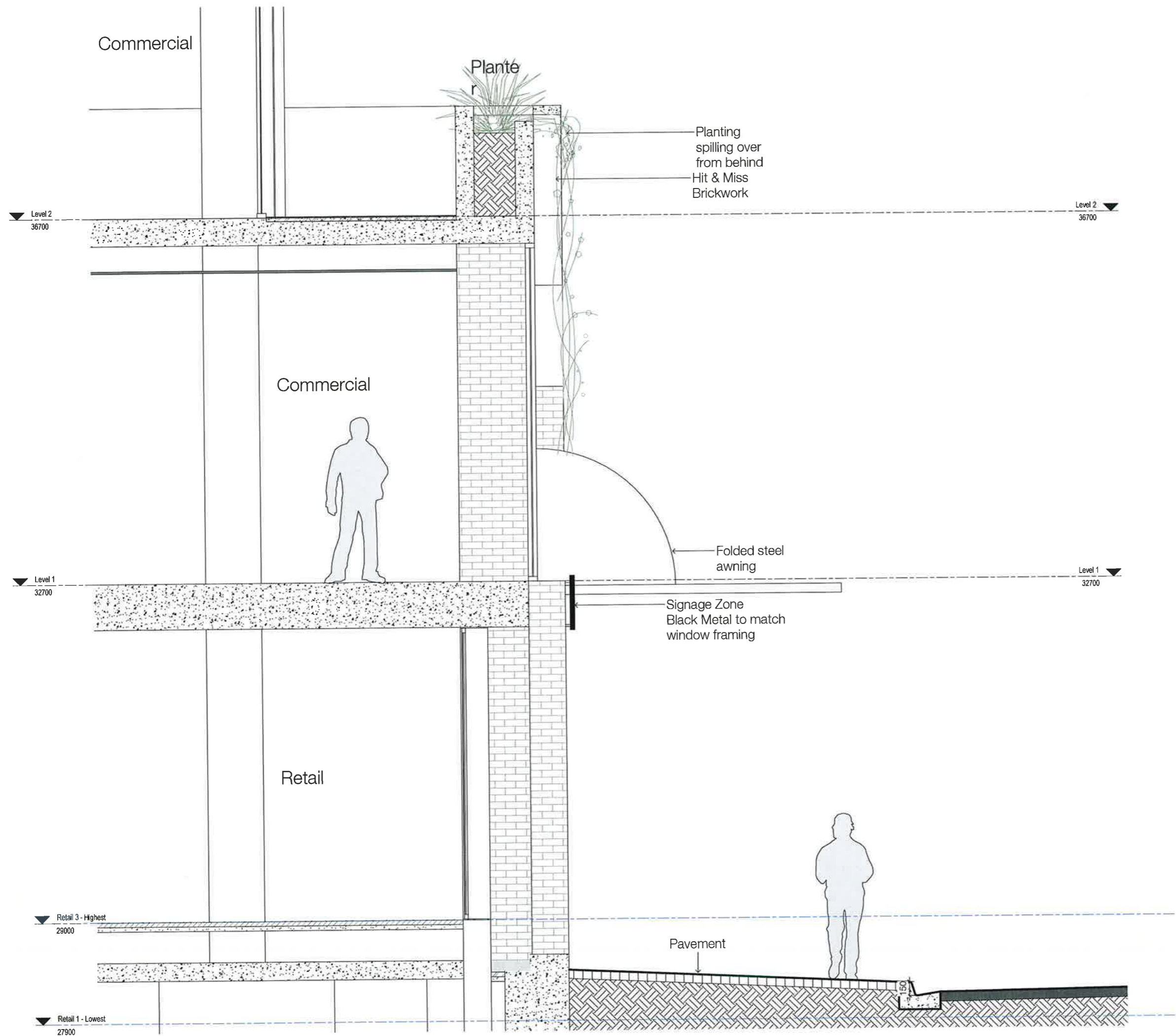


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Nominated Architects: Adam Haddock-7188 | John Pradel-7004

**FOR APPROVAL**

Rev. Date	Revision	By	Chk
11 07 04 2017	Revised DA Issue	SH	SH
12 30 06 2017	Revised DA Issue	SH	SH
14 09 10 2017	Revised DA Issue: Roof Enclosure Removed	SH	SH



Client



Project  
**MILLIGAN - Regent Street, Redfern**  
 80-88 Regent St, Redfern for  
 Sunny Thirdi Regent St Pty Ltd

Drawing Name  
 Retail Wall Sections

Date: 09.10.2017 Scale: 1 : 20 Sheet Size: @ A1

Drawn: JTG Chk: SH

Job No: 5359 Drawing No: DA-0701 Revision: / 14

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

**FOR APPROVAL**

Rev. Date	Revision	By	Chk
11 07 04 2017	Revised DA Issue	SH	SH
12 20 06 2017	Revised DA Issue	SH	SH
14 09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH



**1 Detail East Elevation - Retail**  
1:50@A1

**External Finishes Schedule**

- BR-01 - HI & MISS
- BR-02 - FACE BRICK
- CN-01 - Concrete Finish Type1
- CN-02 - Concrete Finish Type2
- CN-03 - Concrete Finish Type3 (textured)
- CN-04 - Concrete Finish Type4 (tinted)
- MS-01 - Perforated Metal Screening
- MS-02 - Expanded Metal Screening
- MC-01 - Metal Paint Finish -Black
- GL-01 - Glass Type 01-Clear
- GL-02 - Glass Type 02-Tinted (copper)
- GL-03 - Glass Type 03-Tinted (grey)
- PT-01 - Paint Finish - White
- PT-02 - Paint Finish -Black
- TS-01 - Timber Cladding



**2 Detail South Elevation - Retail**  
1:50@A1

Client



Project

MILLIGAN - Regent Street, Redfern

80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

Drawing Name

Retail Detail Elevation

Date Scale Sheet Size

09.10.2017 As indicated @ A1

Drawn Chk

NK SH

Job No Drawing No Revision

5359 DA-0702 / 14

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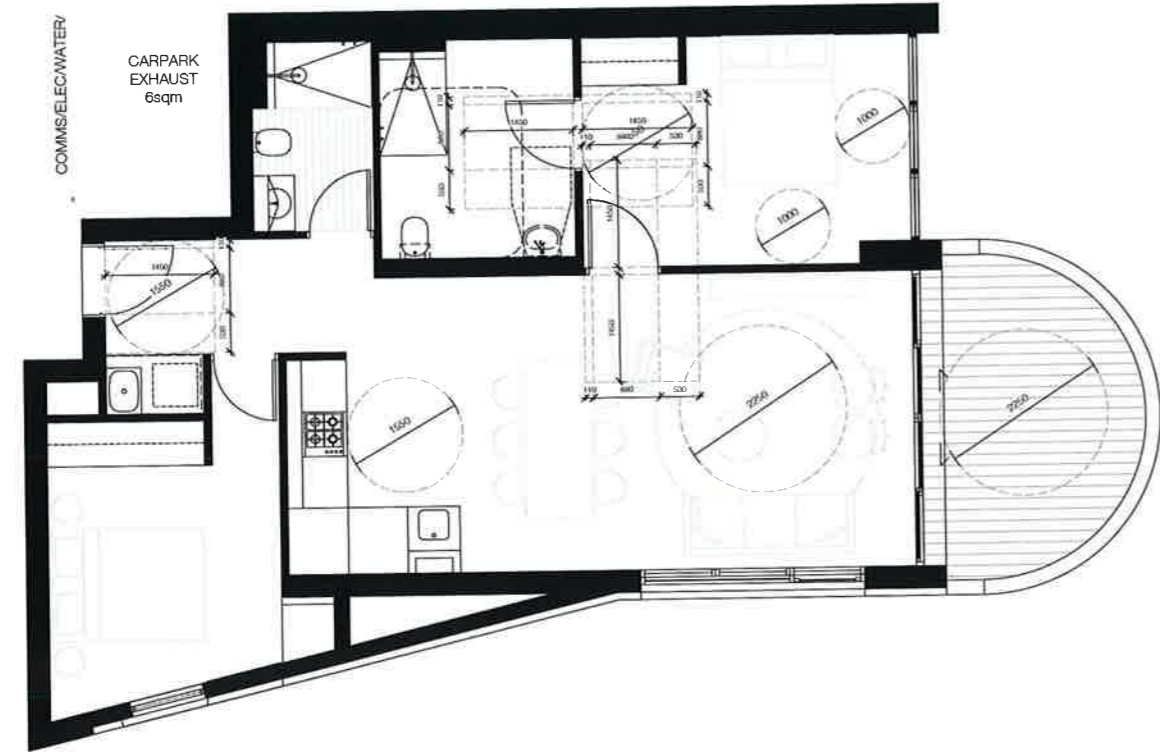
Nominated Architects: Adam Haddock-7188 | John Pradel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	CHK
3	13 01 2016	Draft DA Issue	DS	SH
4	19 01 2016	DA Issue	NK	SH
5	21 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	SH	SH
8	11 11 2016	Revised DA Issue	NK	AH
11	07 04 2017	Revised DA Issue	SH	SH
12	30 05 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH



2 Bed\_PRE-ADAPTED  
Apts: 7 03, 8 03, 9 03, 10 03, 11 03, 12 03, 13 03, 14 03, 15 03



2 Bed\_POST-ADAPTED  
Apts: 7 03, 8 03, 9 03, 10 03, 11 03, 12 03, 13 03, 14 03, 15 03

Client



Project

MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

Drawing Name

Apartment Types - Adaptable

Date: 09.10.2017 Scale: 1 : 50 Sheet Size: @ A1

Drawn: DS Chk: SH

Job No.: 5359 Drawing No.: DA-1401 Revision: / 14

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Nominated Architect: Adam Haddow-7188 | John Pradel-7004

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Rev	Date	Revision	By	CHK
3	13.01.2016	Draft DA Issue	DG	SH
4	19.01.2016	DA Issue	NK	SH
5	21.05.2016	Revised DA Issue	SH	SH
6	15.07.2016	Revised DA Issue	SH	SH
8	11.11.2016	Revised DA Issue	SH	SH
10	10.03.2017	Revised DA Issue	MY	SH
11	07.04.2017	Revised DA Issue	SH	SH
12	20.08.2017	Revised DA Issue	SH	SH
13	14.09.2017	Revised Shadow Issue		
14	09.10.2017	Revised DA Issue Roof Enclosure Removed	SH	SH



**01 Winter 9am Existing**  
1: 1000@A1

**02 Winter 9am Proposed**  
1: 1000@A1

Date	Scale	Sheet Size
09.10.2017	As indicated	@ A1

Job No.	Drawing No.	Revision
5359	DA-3001	/ 14

**KEY**

- Shadow cast by a complying envelope - 4m Setback Marian Street
- Current DA additional shadow\_10.03.2017



Client  
**MILLIGAN - Regent Street, Redfern**  
Project  
**80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd**

Drawing Name  
**Shadow Analysis Sheet 1**

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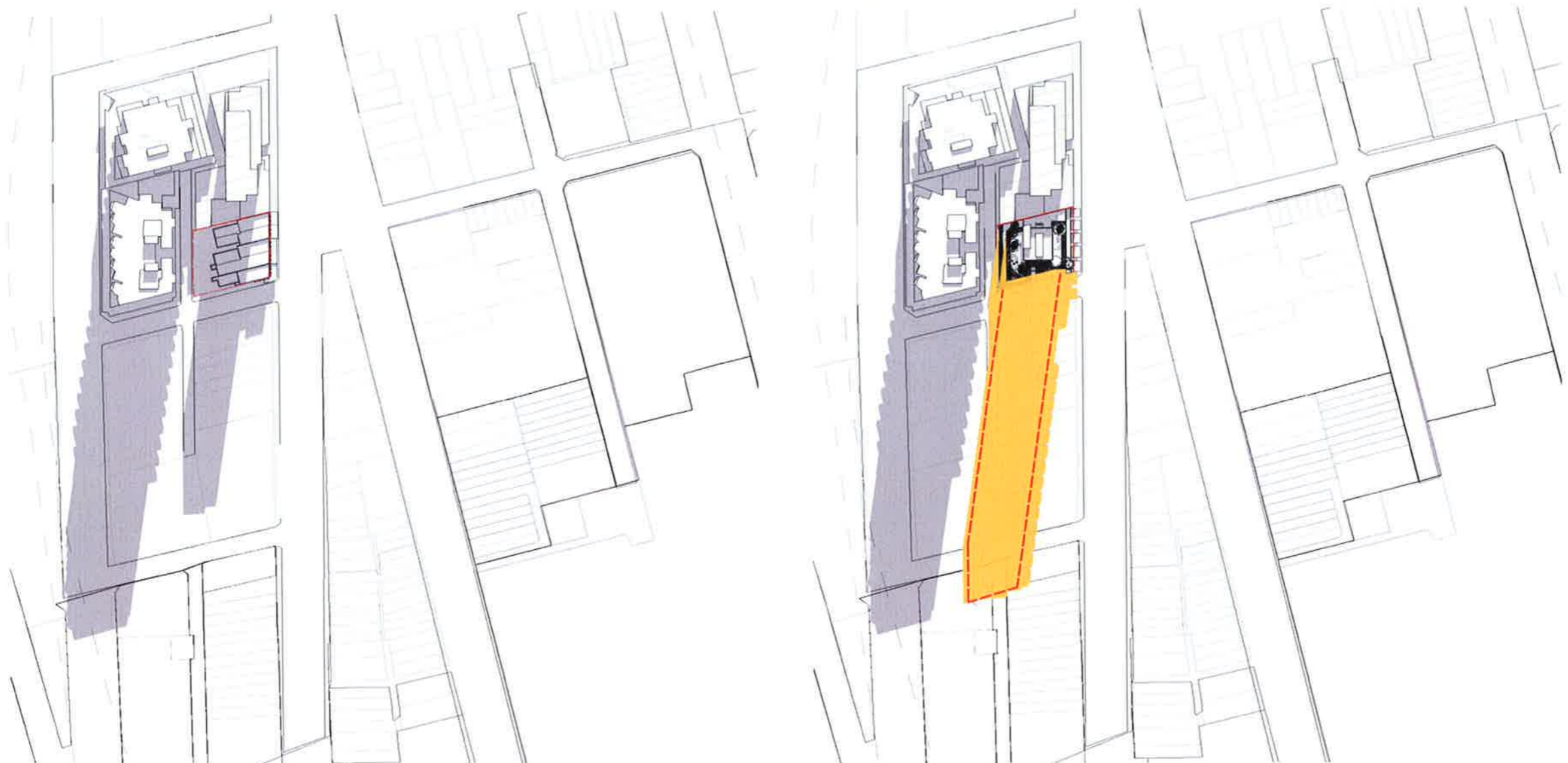


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Rev	Date	Revision	By	Chk
3	13.01.2016	Draft DA Issue	DS	SH
4	19.01.2016	DA Issue	NK	SH
5	21.05.2016	Revised DA Issue	SH	SH
6	15.07.2016	Revised DA Issue	SH	SH
8	11.11.2016	Revised DA Issue	NK	AFI
10	10.03.2017	Revised DA Issue	MY	SH
11	07.04.2017	Revised DA Issue	SH	SH
12	30.08.2017	Revised DA Issue	SH	SH
13	14.09.2017	Revised Shadow Issue		
14	09.10.2017	Revised DA Issue Flood Enclosure Removed	SH	SH



**1 Winter 10am Existing**  
1:1000@A1

**2 Winter 10am Proposed**  
1:1000@A1

Date	Scale	Sheet Size
09.10.2017	As indicated	@ A1

Job No.	Drawing No.	Revision
5359	DA-3002	/ 14

**KEY**

- Shadow cast by a complying envelope - 4m Setback Marian Street
- Current DA additional shadow\_10.03.2017



**Project**  
MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

**Drawing Name**  
Shadow Analysis Sheet 2

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Nominated Architect: Adam Haddow-7168 | John Pradel-7004

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Rev. Date	Revision	By	Chk
3	13 01 2016	DS	SH
4	19 01 2016	SH	SH
5	21 05 2016	SH	SH
6	15 07 2016	SH	SH
8	11 11 2016	SH	SH
10	10 03 2017	MY	SH
11	07 04 2017	SH	SH
12	30 06 2017	SH	SH
13	14 09 2017	SH	SH
14	09 10 2017	SH	SH



**1 Winter 11am Existing**  
1:1000@A1



**2 Winter 11am Proposed**  
1:1000@A1

KEY	Date	Scale	Sheet Size
--- Shadow cast by a complying envelope - 4m Setback Marian Street	09.10.2017	As indicated	@ A1
■ Current DA additional shadow_10.03.2017	DS	SH	
	Job No.	Drawing No.	Revision
	5359	DA-3003	/ 14



Client  
**MILLIGAN GROUP** **THIRD GROUP**  
Project  
MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

Drawing Name  
Shadow Analysis Sheet 3

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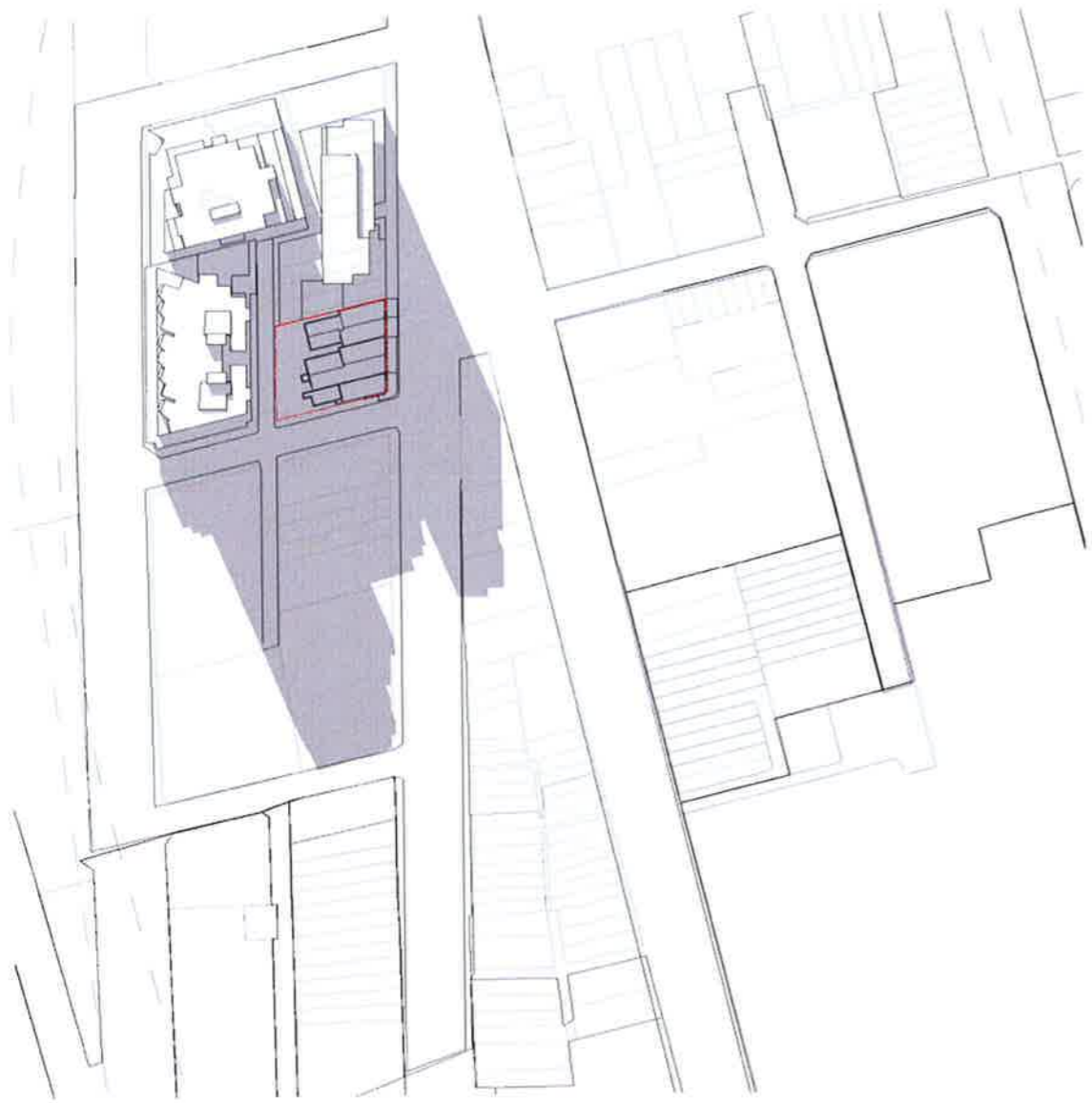


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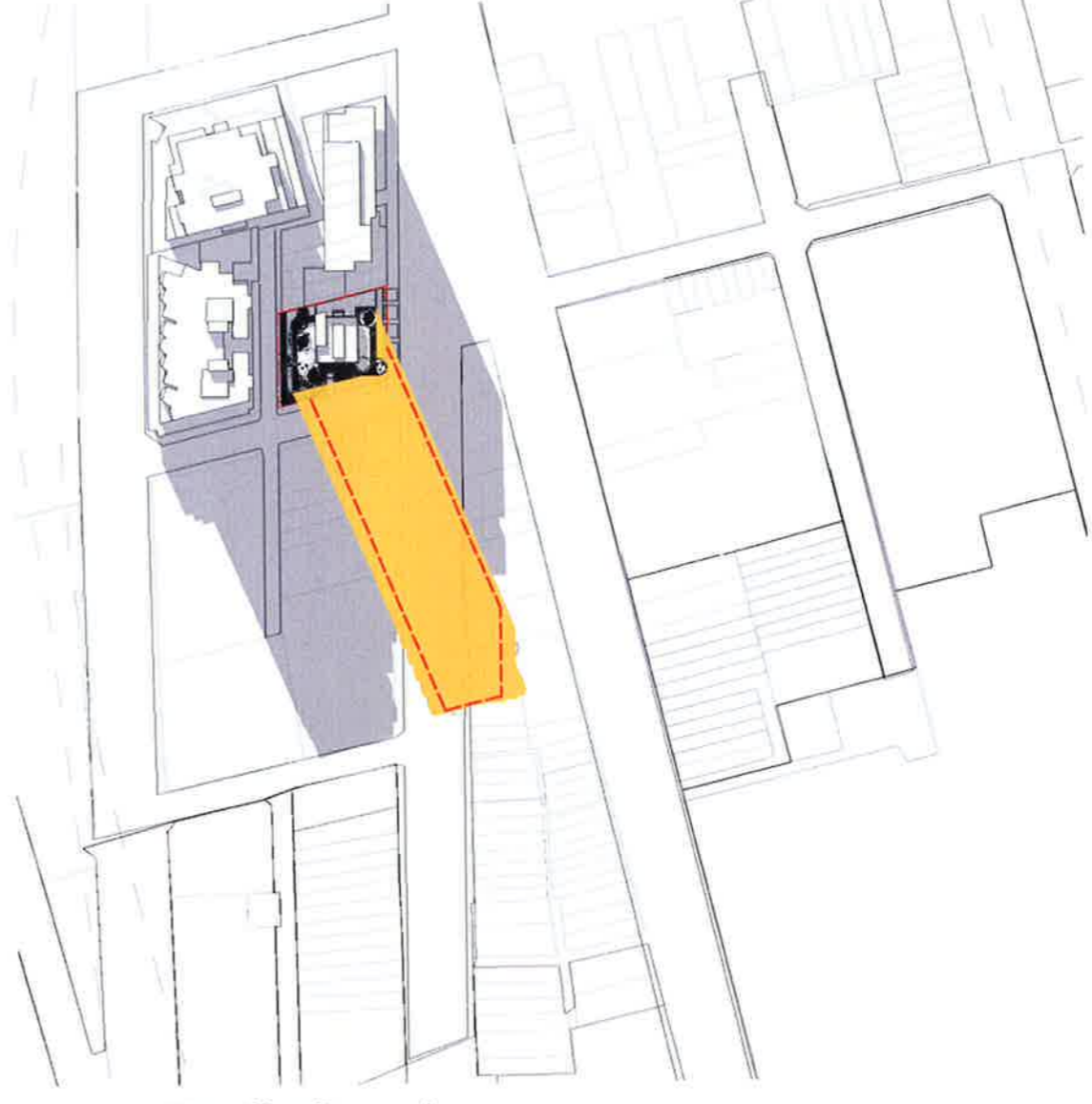
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**FOR APPROVAL**

Rev.	Date	Revision	By	Chk.
3	13.01.2016	Draft DA Issue	DS	SH
4	19.01.2016	DA Issue	NK	SH
5	21.05.2016	Revised DA Issue	SH	SH
6	15.07.2016	Revised DA Issue	SH	SH
8	11.11.2016	Revised DA Issue	NK	SH
10	10.02.2017	Revised DA Issue	NY	SH
11	07.04.2017	Revised DA Issue	SH	SH
12	30.05.2017	Revised DA Issue	SH	SH
13	14.09.2017	Revised Shadow Issue		
14	09.10.2017	Revised DA Issue Roof Enclosure Removed	SH	SH



**1 Winter 12pm Existing**  
1:1000@A1



**2 Winter 12pm Proposed**  
1:1000@A1

KEY	Date	Scale	Sheet Size
Shadow cast by a complying envelope - 4m Setback Marian Street	09.10.2017	As indicated	@ A1
Current DA additional shadow_10.03.2017			



**Project**  
MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for  
Sunny Thirdi Regent St Pty Ltd

**Drawing Name**  
Shadow Analysis Sheet 4

Job No.	Drawing No.	Revision
5359	DA-3004	/ 14

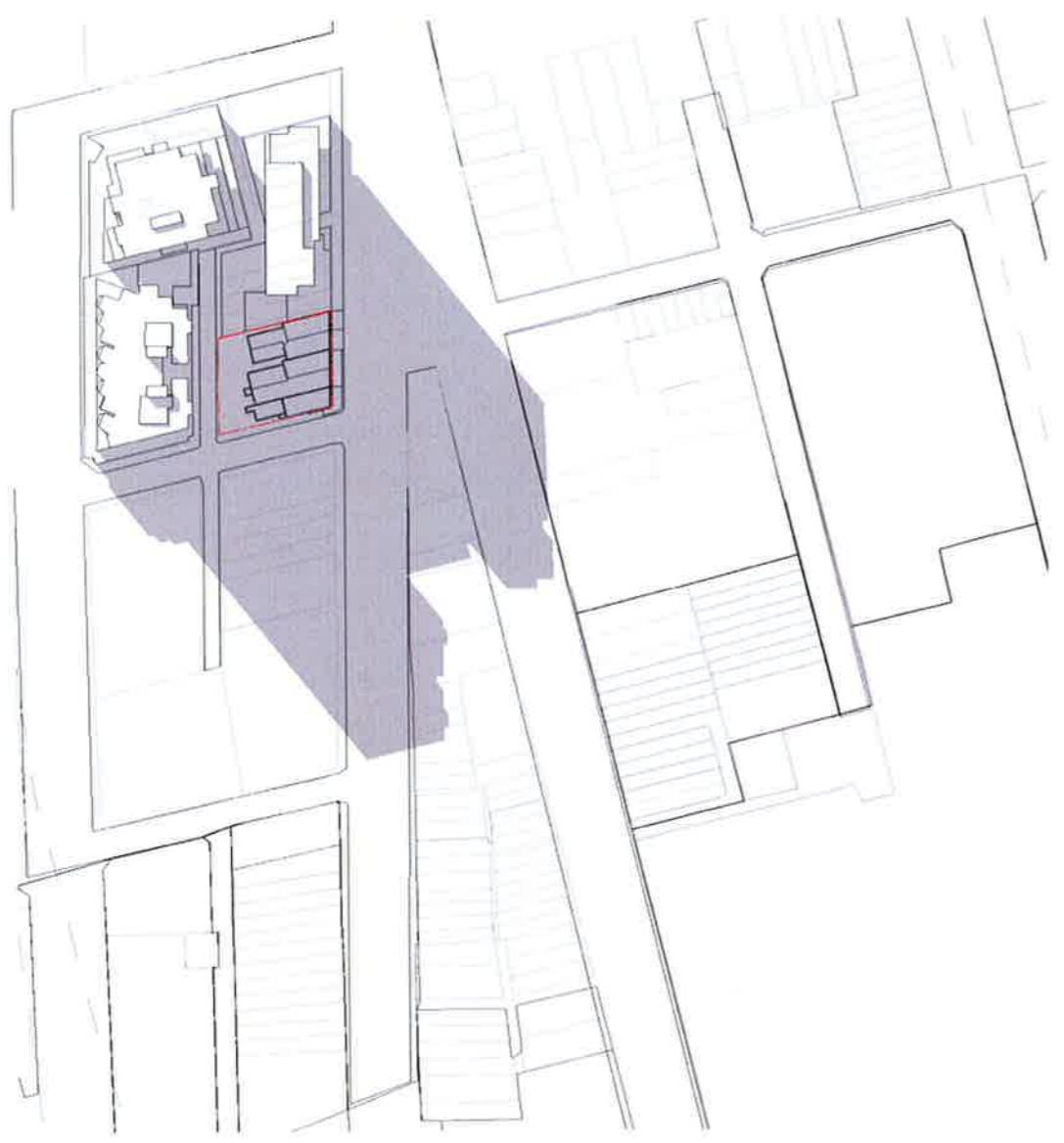
**SJB Architects**  
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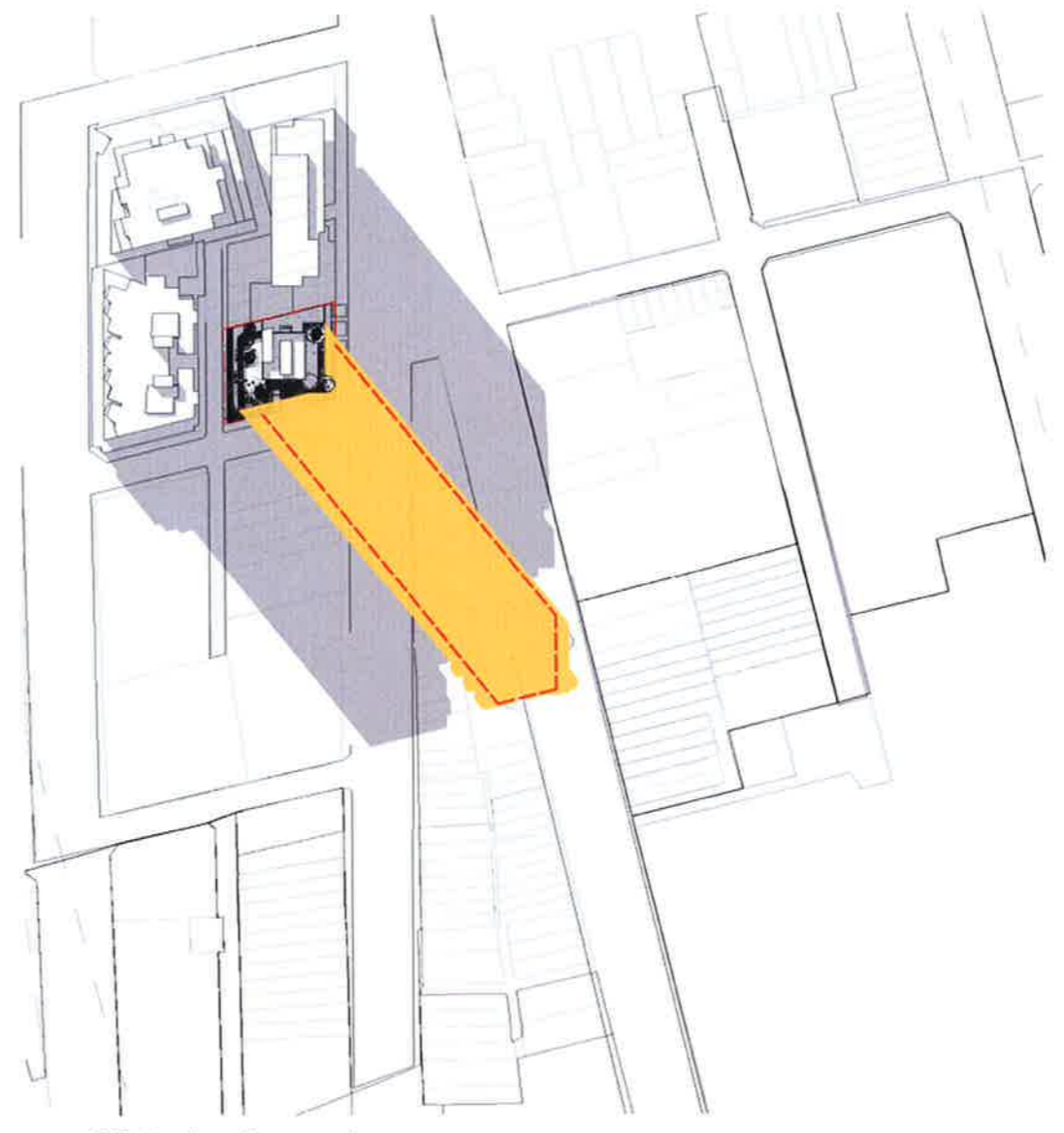
Nominated Architects: Adam Haddow-7188 | John Pradel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	CHK
3	13.01.2016	Issue DA Issue	DS	SH
4	19.01.2016	DA Issue	NK	SH
5	21.05.2016	Revised DA Issue	SH	SH
6	15.07.2016	Revised DA Issue	SH	SH
8	11.11.2016	Revised DA Issue	NK	SH
10	10.03.2017	Revised DA Issue	MY	SH
11	07.04.2017	Revised DA Issue	SH	SH
12	30.06.2017	Revised DA Issue	SH	SH
13	14.09.2017	Revised Shadow Issue	SH	SH
14	09.10.2017	Revised DA Issue Roof Enclosure Removal	SH	SH



**1 Winter 1pm Existing**  
1:1000@A1



**2 Winter 1pm Proposed**  
1:1000@A1



Project  
MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for  
Sunny Thirdi Regent St Pty Ltd

Drawing Name  
Shadow Analysis Sheet 5



Date	Scale	Sheet Size
09.10.2017	As indicated	@ A1

Drawn	Chk
DS	SH

Job No.	Drawing No.	Revision
5359	DA-3005	/ 14

**KEY**

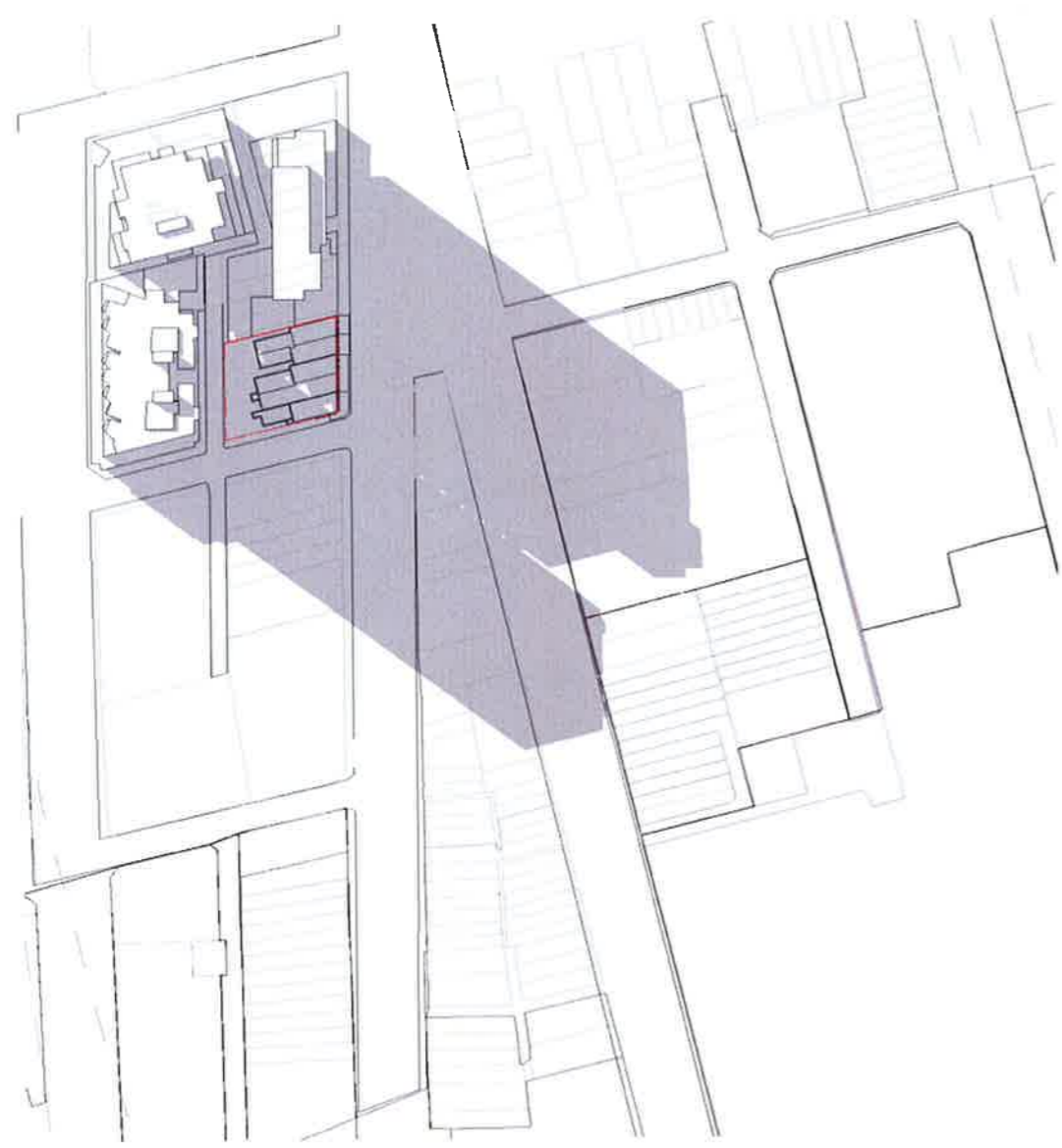
- Shadow cast by a complying envelope - 4m Setback Marian Street
- Current DA additional shadow\_10.03.2017

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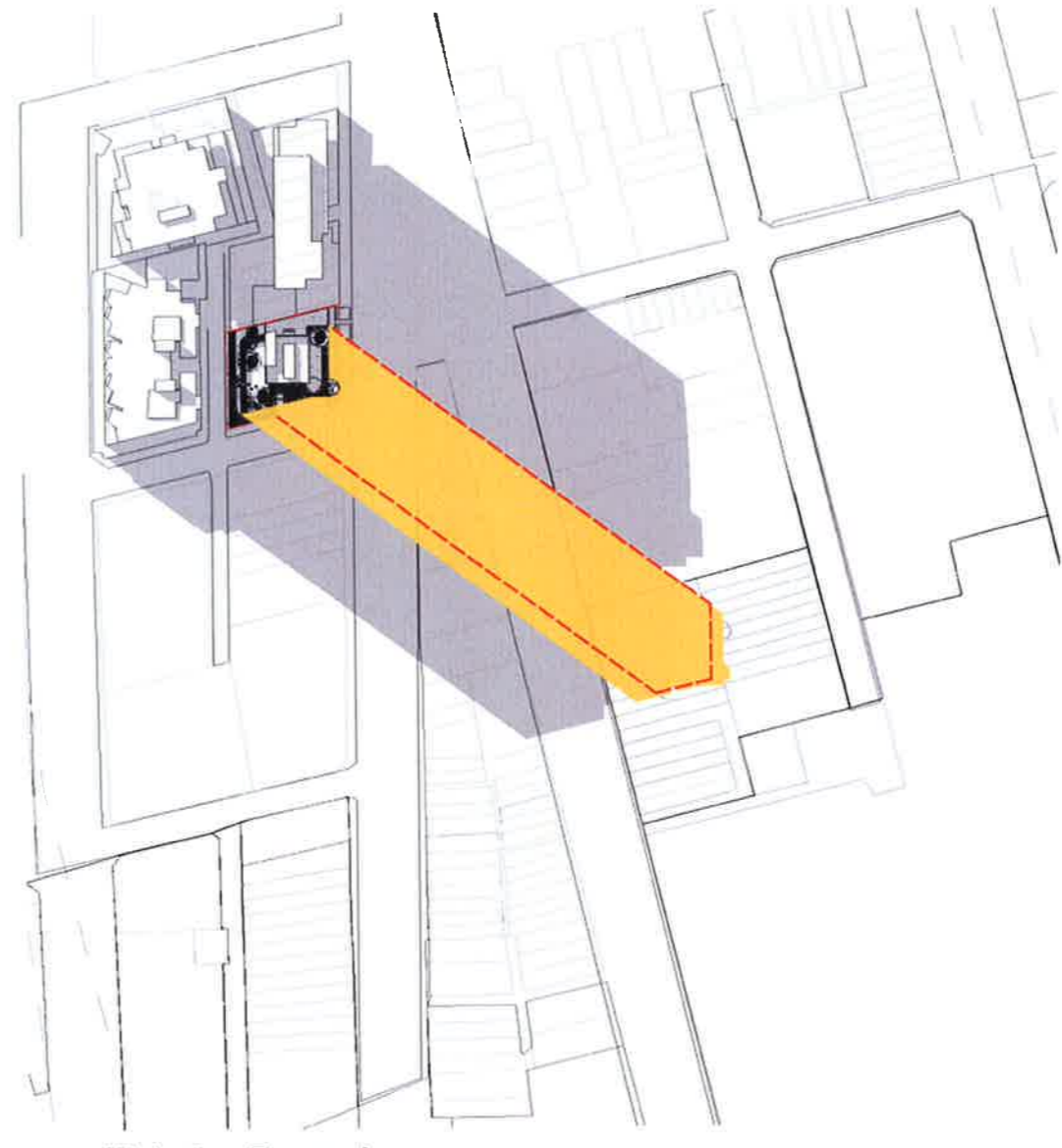
Nominated Architects: Adam Haddow-7188 | John Pradel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	Chk
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4	19.07.2016	DA Issue	MK	SH
5	21.05.2016	Revised DA Issue	SH	SH
6	15.07.2016	Revised DA Issue	SH	SH
8	11.11.2016	Revised DA Issue	MK	SH
10	10.03.2017	Revised DA Issue	MY	SH
11	07.04.2017	Revised DA Issue	SH	SH
12	30.06.2017	Revised DA Issue	SH	SH
13	14.09.2017	Revised Shadow Issue		
14	09.10.2017	Revised DA Issue Roof Enclosure Removed	SH	SH



**1 Winter 2pm Existing**  
1:1000@A1



**2 Winter 2pm Proposed**  
1:1000@A1

Date	Scale	Sheet Size
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<p>Shadow cast by a complying envelope - 4m Setback Marian Street</p>		
<p>Current DA additional shadow_10.03.2017</p>		
DS	SH	
Job No.	Drawing No.	Revision
5359	DA-3006	/ 14

Client  
**MILLIGAN GROUP THIRD GROUP**  
Project  
**MILLIGAN - Regent Street, Redfern**  
80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

Drawing Name  
Shadow Analysis Sheet 6

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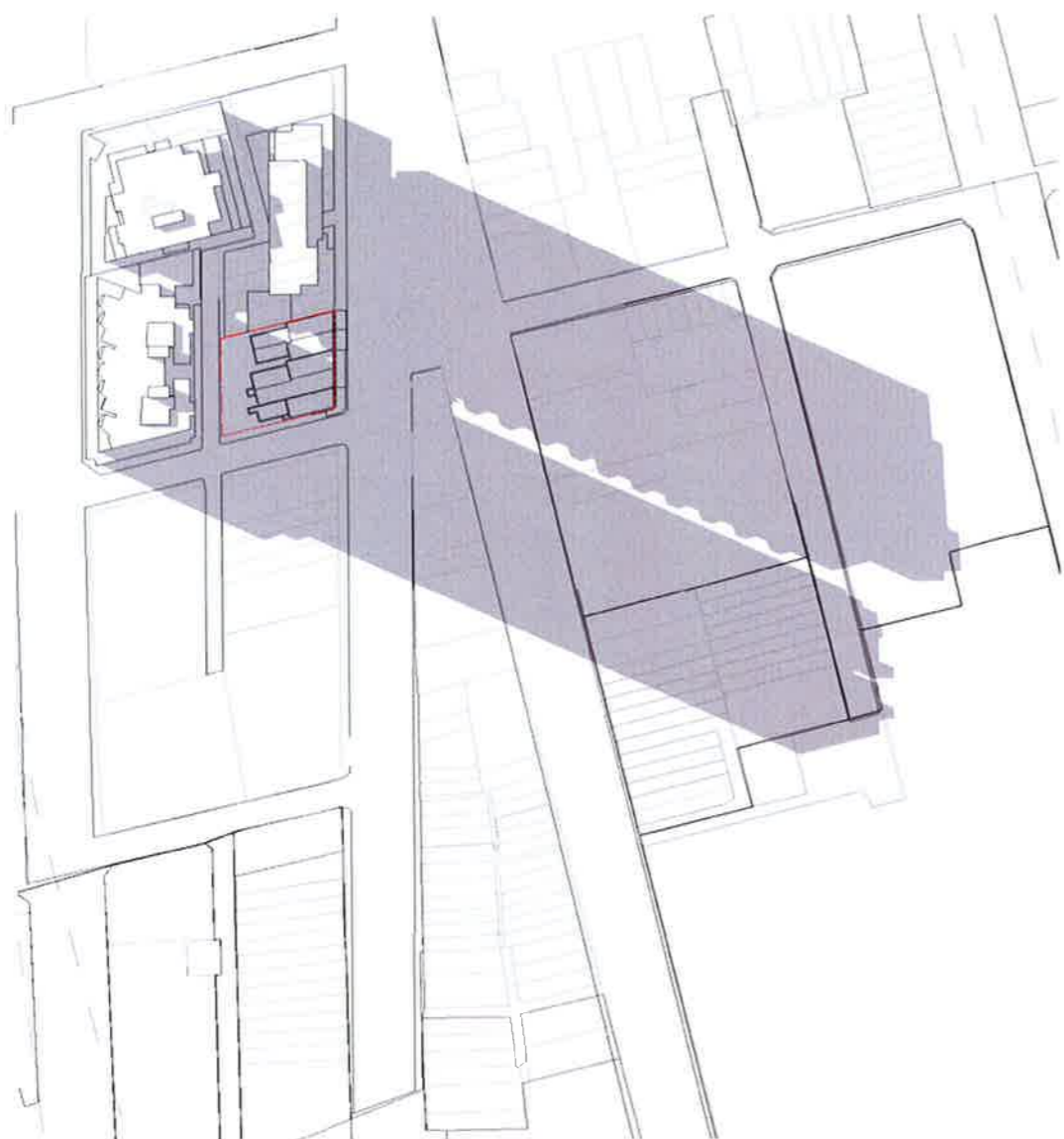


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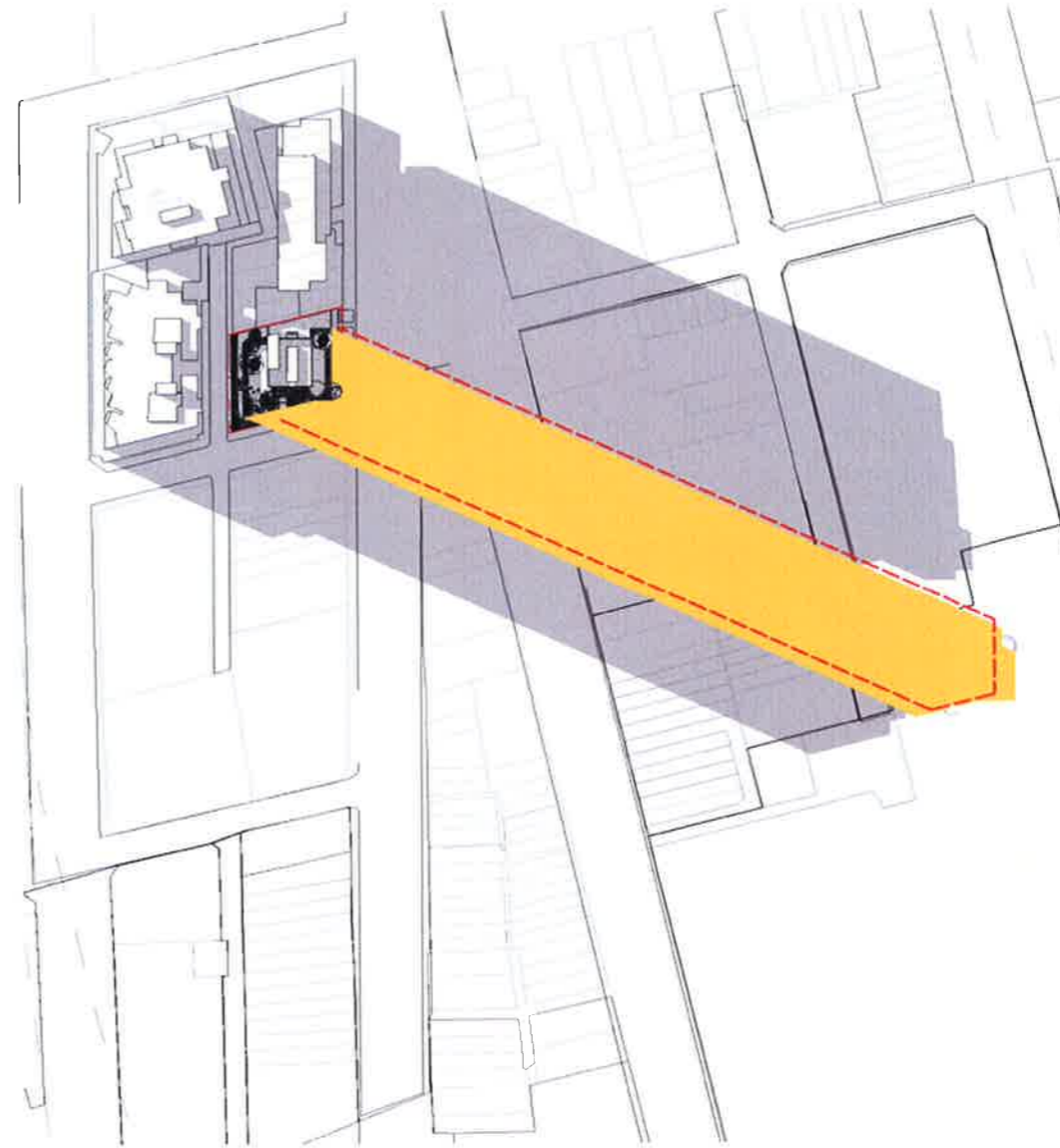
Nominated Architects: Adam Haddock-7168 | John Pradel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	Chk
3	13.01.2016	Draft DA Issue	DG	SH
4	19.01.2016	DA Issue	NK	SH
5	21.02.2016	Revised DA Issue	SH	SH
6	15.07.2016	Revised DA Issue	SH	SH
8	11.11.2016	Revised DA Issue	NK	AH
10	10.03.2017	Revised DA Issue	MY	SH
11	07.04.2017	Revised DA Issue	SH	SH
12	30.06.2017	Revised DA Issue	SH	SH
13	14.09.2017	Revised Shadow Issue	SH	SH
14	09.10.2017	Revised DA Issue Roof Enclosure Removed	SH	SH



**1 Winter 3pm Existing**  
1:1000@A1



**2 Winter 3pm Proposed**  
1:1000@A1

Date	Scale	Sheet Size
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Drawn	Chk	
DS	SH	
Job No.	Drawing No.	Revision
5359	DA-3007	/ 14

Client



Project

MILLIGAN - Regent Street, Redfern

80-88 Regent St, Redfern for  
Sunny Thirdi Regent St Pty Ltd

Drawing Name

Shadow Analysis Sheet 7



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Nominated Architects: Adam Haddow-7186 | John Pradel-7004

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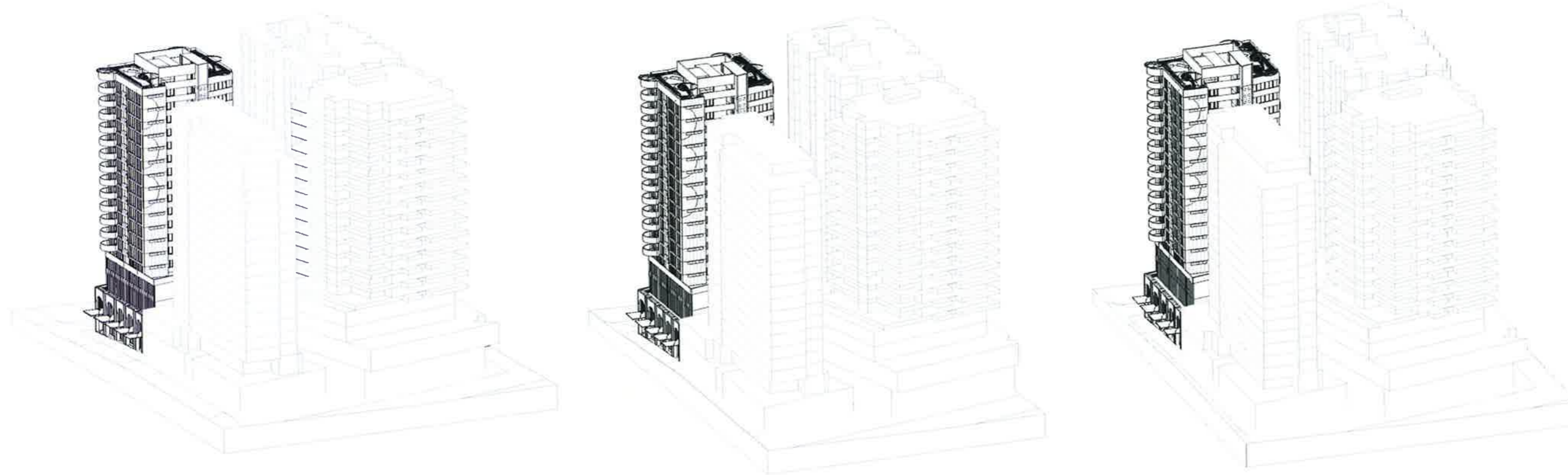
Rev	Date	Revision	By	Cnk
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4	19 01 2016	DA Issue	NK	SH
5	21 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	SH	SH
7	19 10 2016	Issue for Information	NK	SH
8	11 11 2016	Revised DA Issue	NK	SH
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	30 06 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH



WINTER 8AM

WINTER 8:15AM

WINTER 8:30AM



WINTER 8:45AM

WINTER 9AM

WINTER 9:15AM

Client



Project

MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for  
Sunny Thirdi Regent St Pty Ltd

Drawing Name

View from the Sun - Sheet 1

Date: 09.10.2017 Scale: Sheet Size: @ A1

Drawn: DS Cnk: SH

Job No. 5359 Drawing No. DA-3011 Revision / 14

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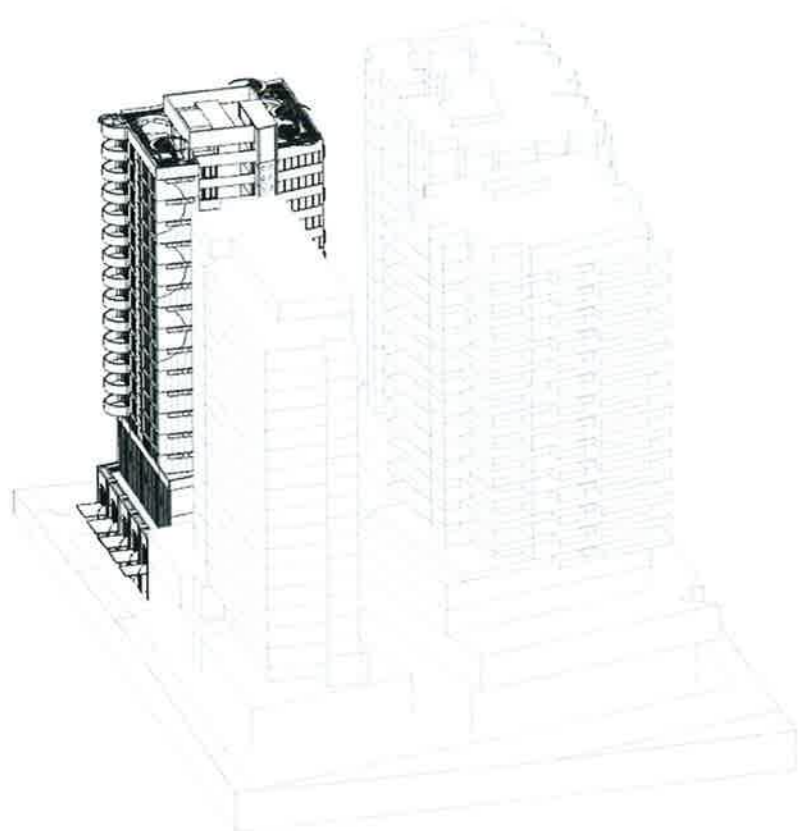


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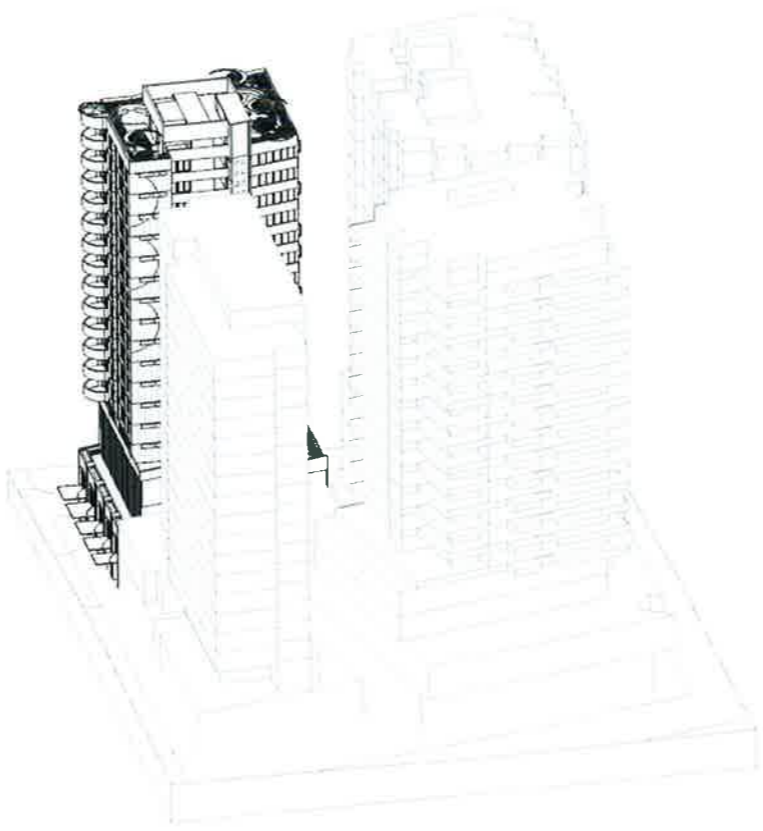
Nominated Architects: Adam Haddow-7186 | John Pradel-7004

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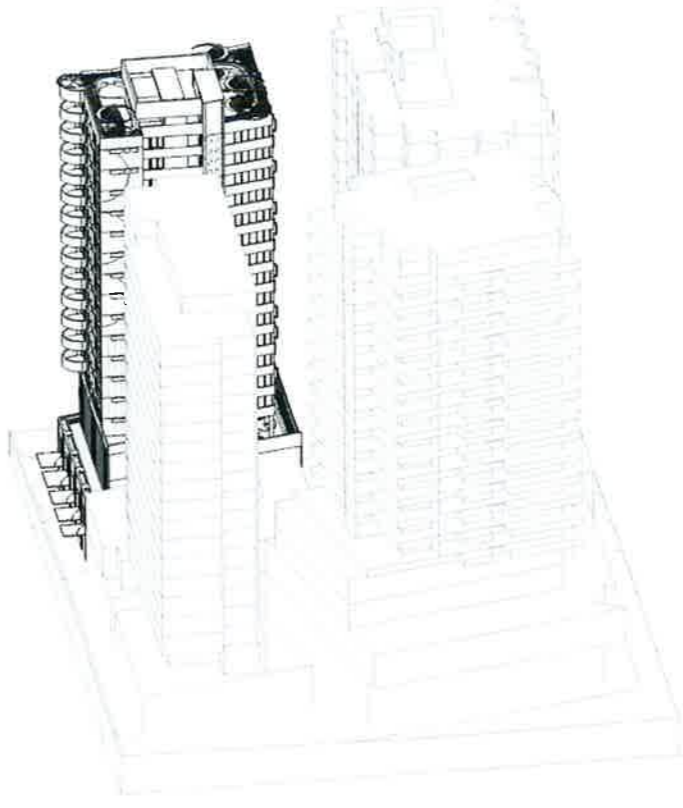
Rev	Date	Revision	By	Chk
3	13 01 2016	Draft DA Issue	DS	SH
4	19 01 2016	DA Issue	NK	SH
5	23 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	NK	SH
7	19 10 2016	Issue for Information	NK	SH
8	11 11 2016	Revised DA Issue	NK	SH
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	30 08 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH



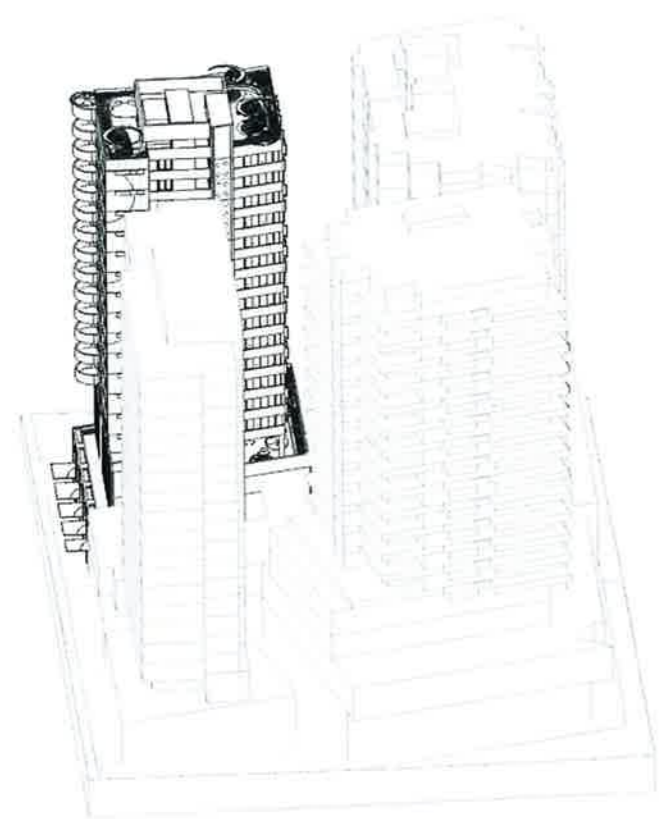
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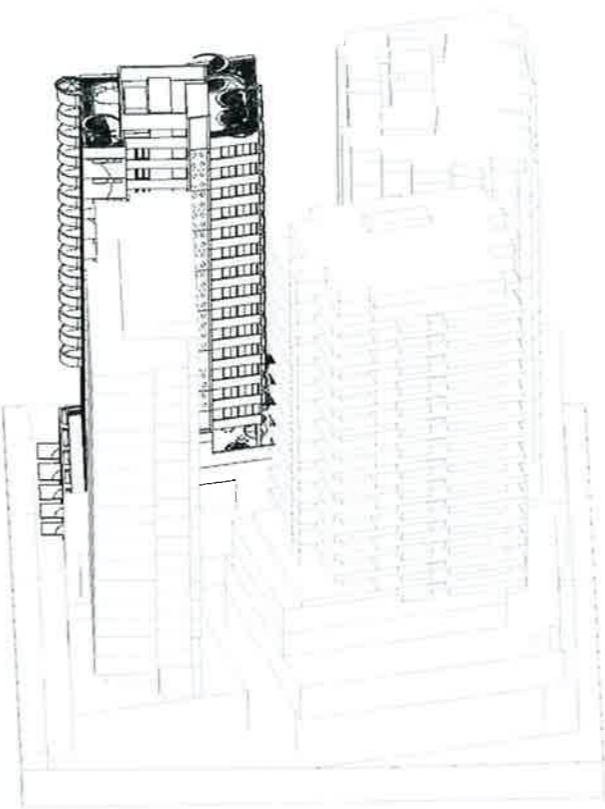
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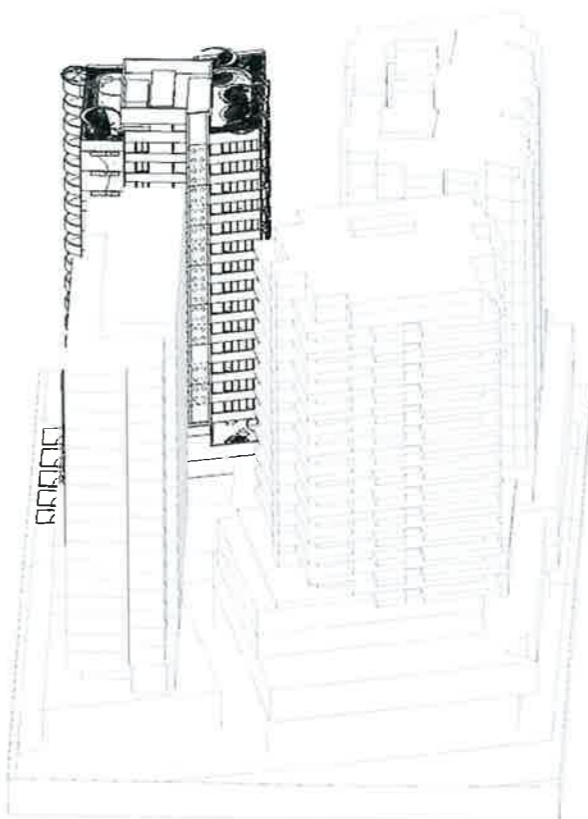
WINTER 10AM



WINTER 10:15AM



WINTER 10:30AM



WINTER 10:45AM

Client



Project

MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for  
Sunny Third Regent St Pty Ltd

Drawing Name

View from the Sun - Sheet 2

Date: 09.10.2017 Scale: @ A1 Sheet Size

Drawn: DS Chk: SH

Job No: 5359 Drawing No: DA-3012 Revision: / 14

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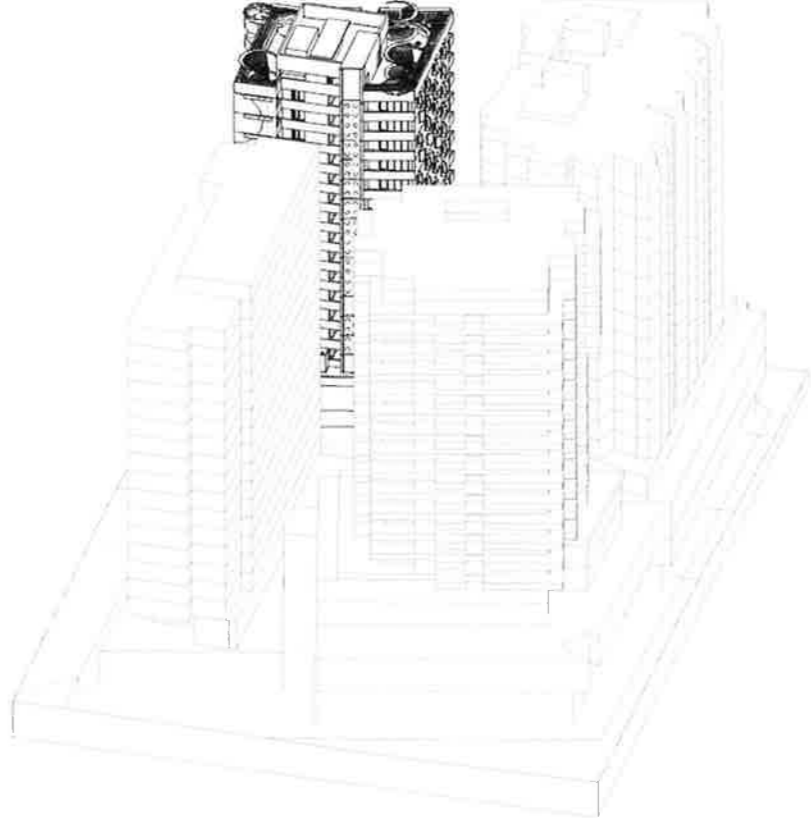
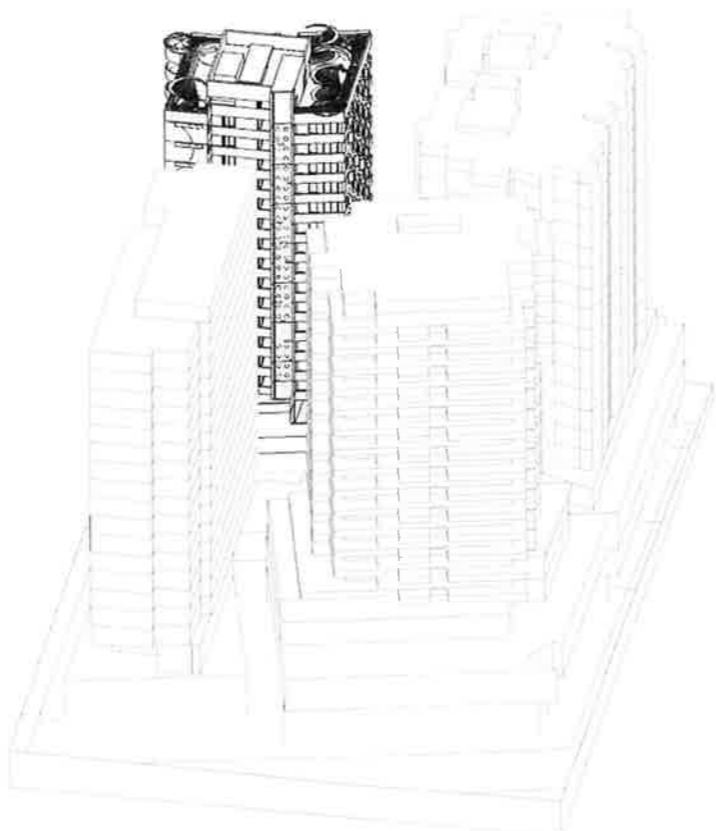
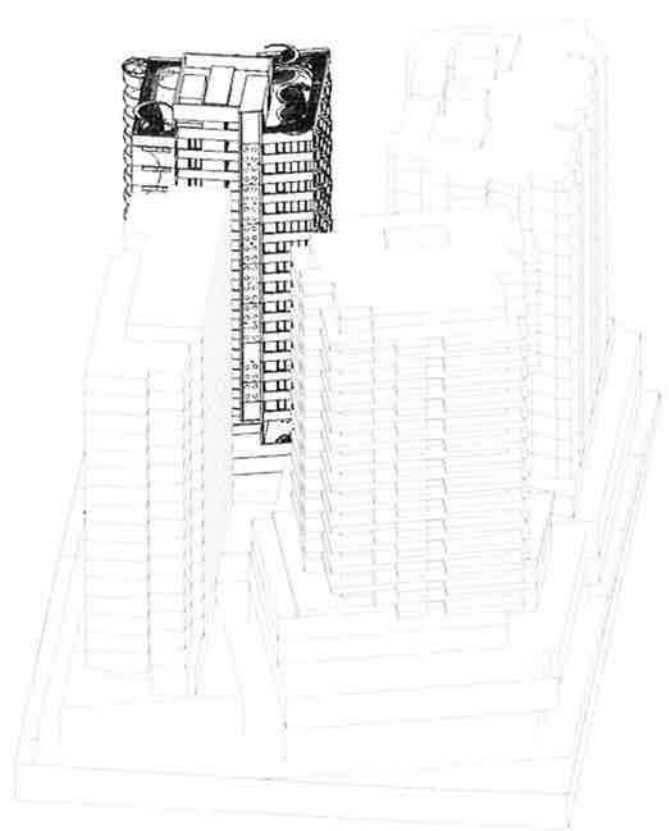


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Nominated Architects: Adam Haddock-7186 | John Predel-7004

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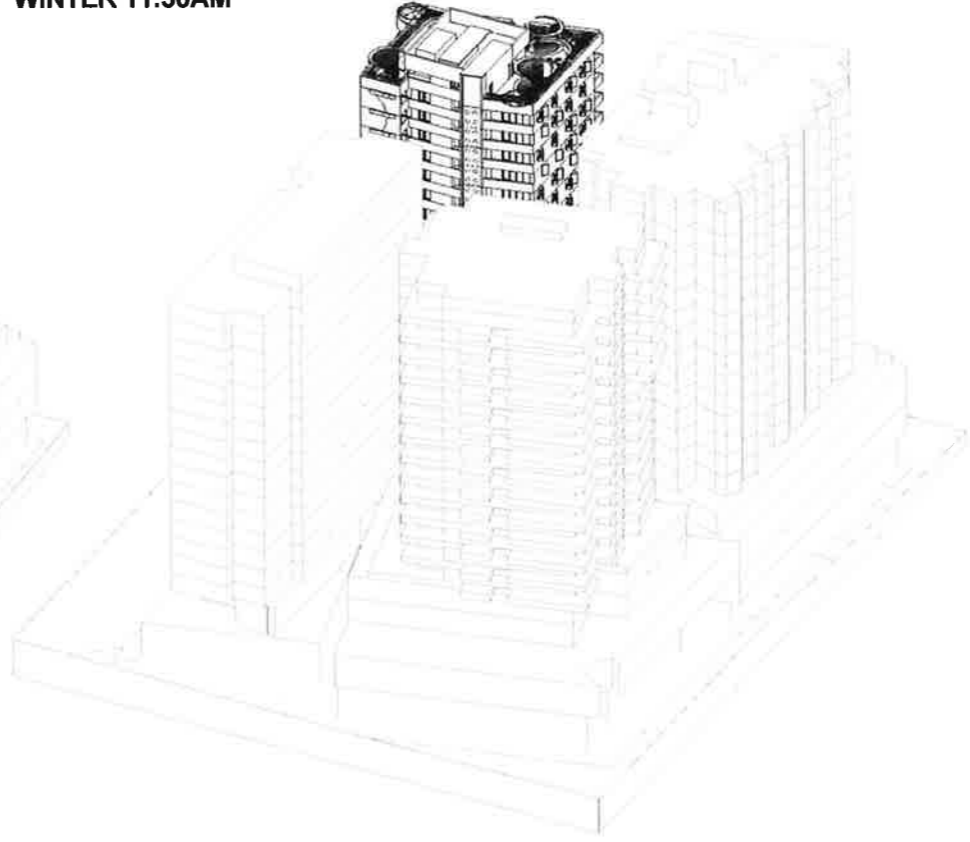
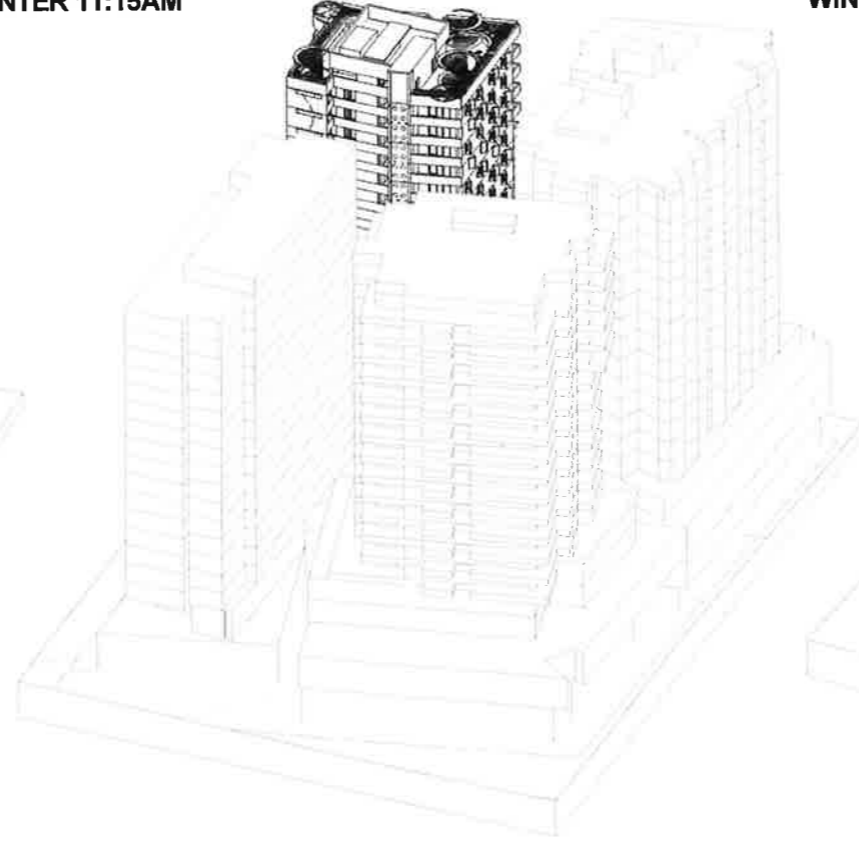
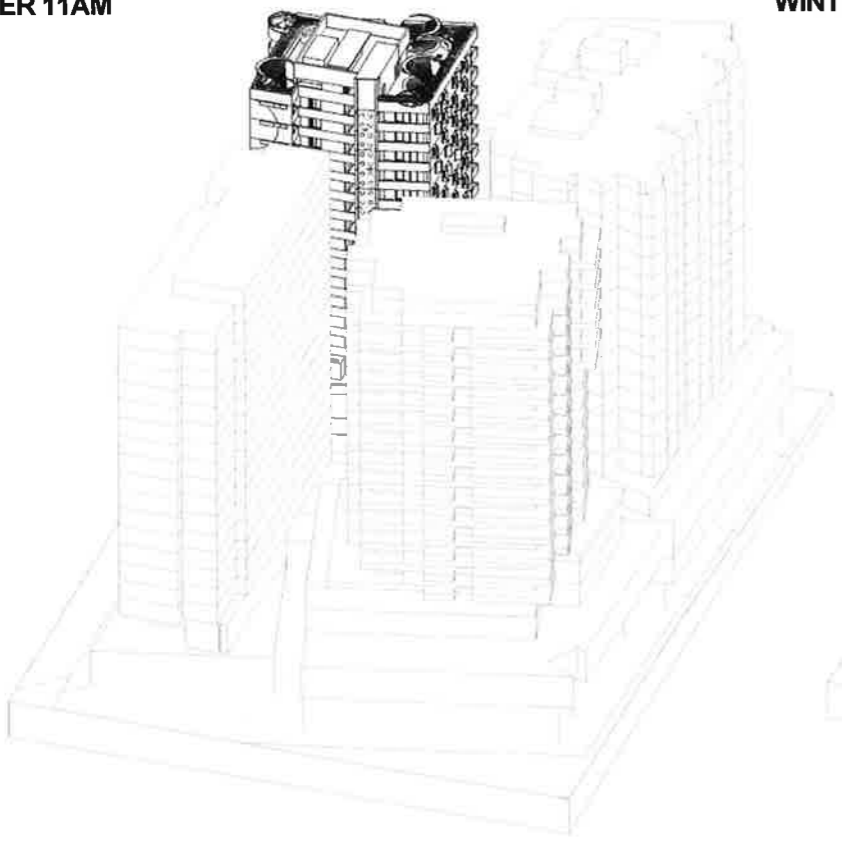
Rev	Date	Revision	By	Chk
6	15.07.2016	Revised DA Issue	SH	SH
7	19.10.2016	Issue for Information	NK	SH
8	11.11.2016	Revised DA Issue	NK	SH
10	10.03.2017	Revised DA Issue	MY	SH
11	07.04.2017	Revised DA Issue	SH	SH
12	30.09.2017	Revised DA Issue	SH	SH
14	09.10.2017	Revised DA Issue Roof Enclosure Removal	SH	SH



**WINTER 11AM**

**WINTER 11:15AM**

**WINTER 11:30AM**



**WINTER 11:45AM**

**WINTER 12PM**

**WINTER 12:15PM**

Client



Project

MILLIGAN - Regent Street, Redfern

80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

Drawing Name

View from the Sun - Sheet 3

Date: 09.10.2017 Scale: Sheet Size: @ A1

Drawn: NK Chk: SH

Job No: 5359 Drawing No: DA-3013 Revision: / 14

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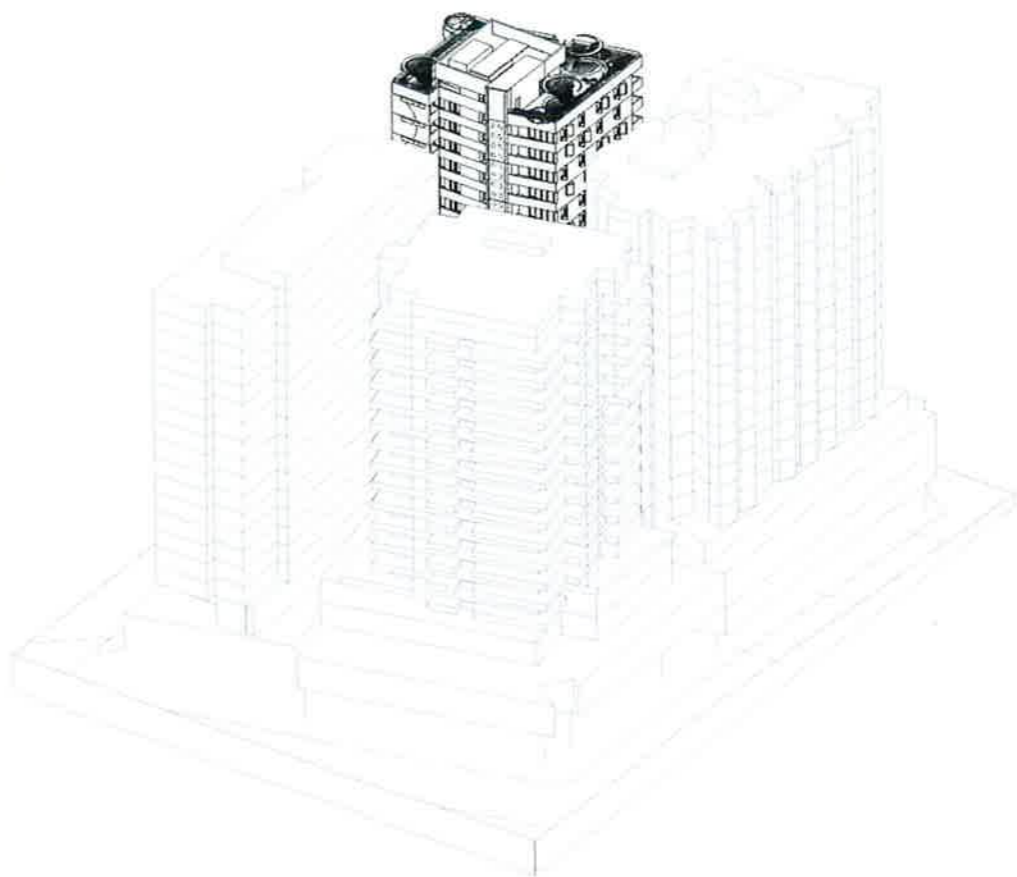
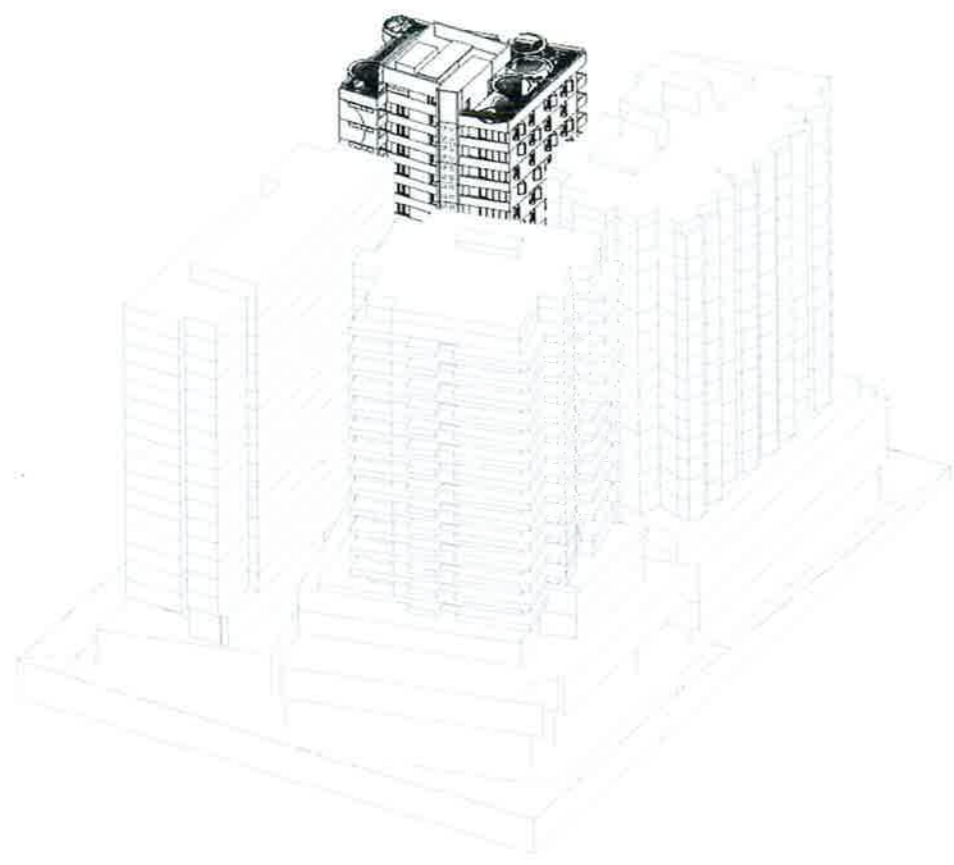


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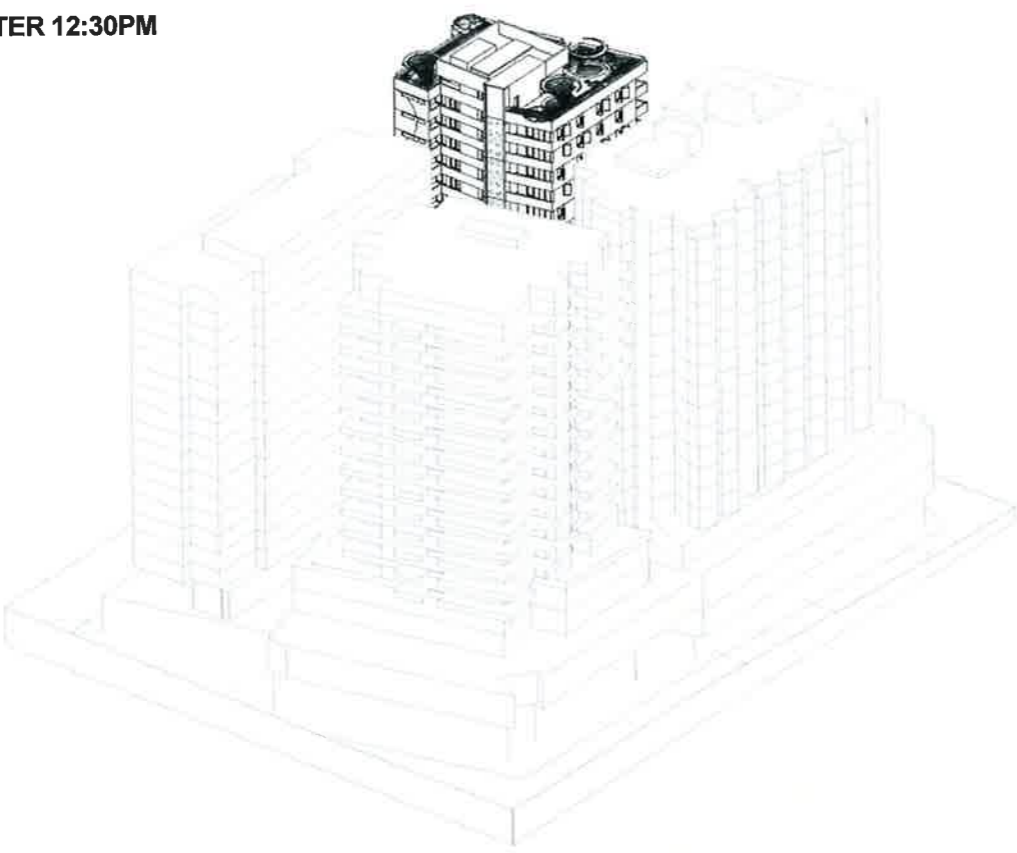
Nominated Architects: Adam Haddow-7186 | John Pradel-7004

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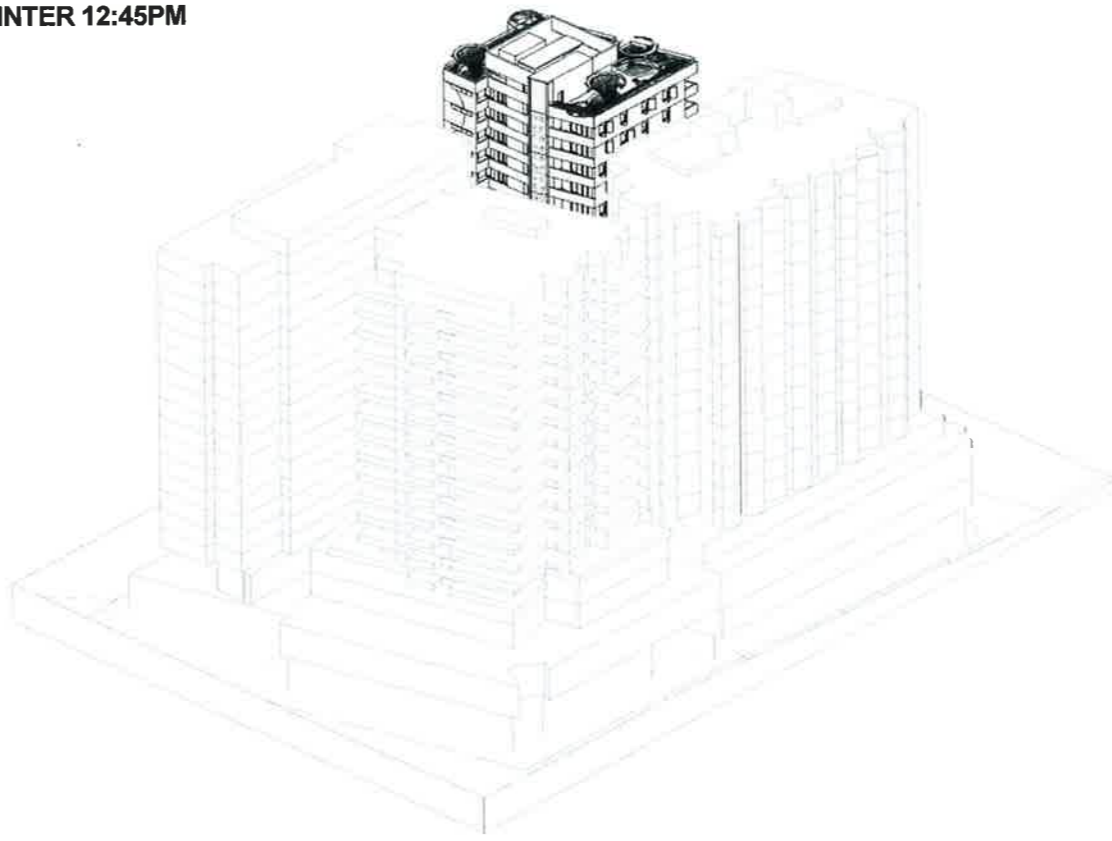
Rev	Date	Revision	By	Chk
6	15/07/2016	Revised DA Issue	SH	SH
7	19/10/2016	Issue for Information	NK	AH
8	11/11/2016	Revised DA Issue	NK	AH
10	10/03/2017	Revised DA Issue	MY	SH
11	07/04/2017	Revised DA Issue	SH	SH
12	30/06/2017	Revised DA Issue	SH	SH
14	09/10/2017	Revised DA Issue Roof Enclosure Removed	SH	SH



WINTER 12:30PM



WINTER 12:45PM



WINTER 1PM

WINTER 1:15PM

Client



Project

MILLIGAN - Regent Street, Redfern

80-88 Regent St, Redfern for Sunny Thirdi Regent St Pty Ltd

Drawing Name

View from the Sun - Sheet 4

Date 09.10.2017 Scale Sheet Size @ A1

Drawn NK Chk. SH

Job No. 5359 Drawing No. DA-3014 Revision / 14

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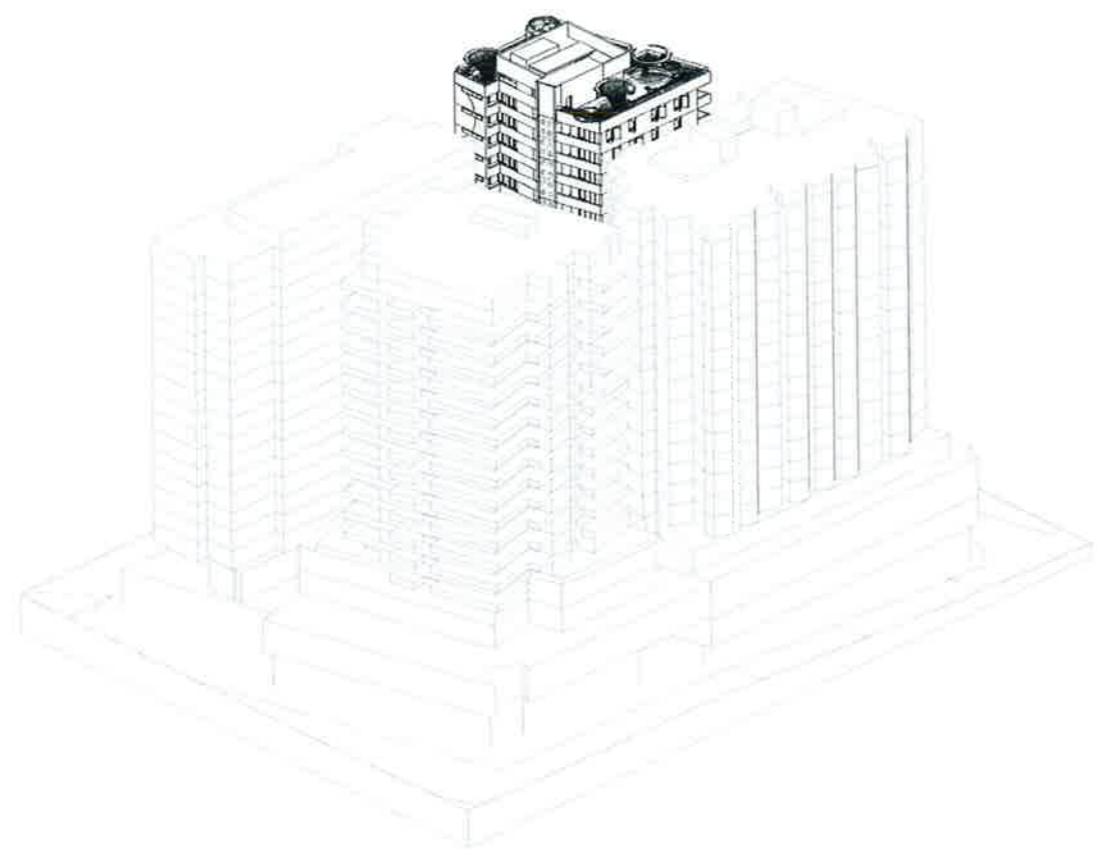


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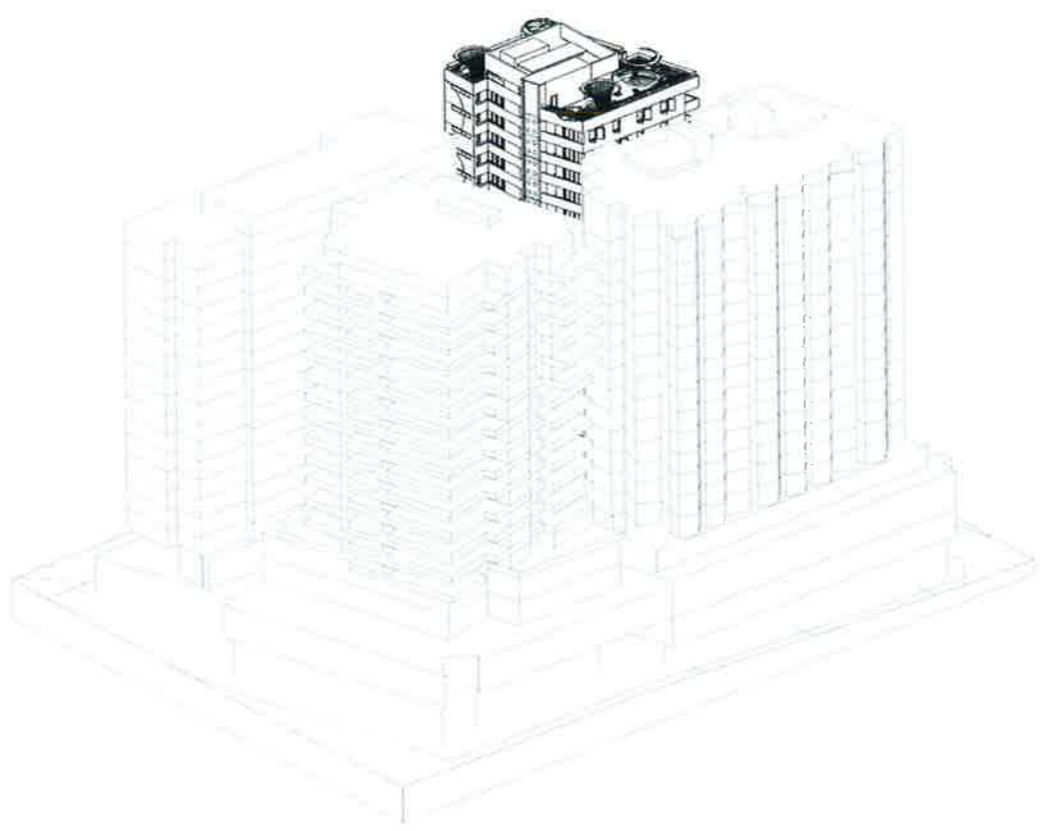
Nominated Architects: Adam Haddow-7188 | John Predel-7004

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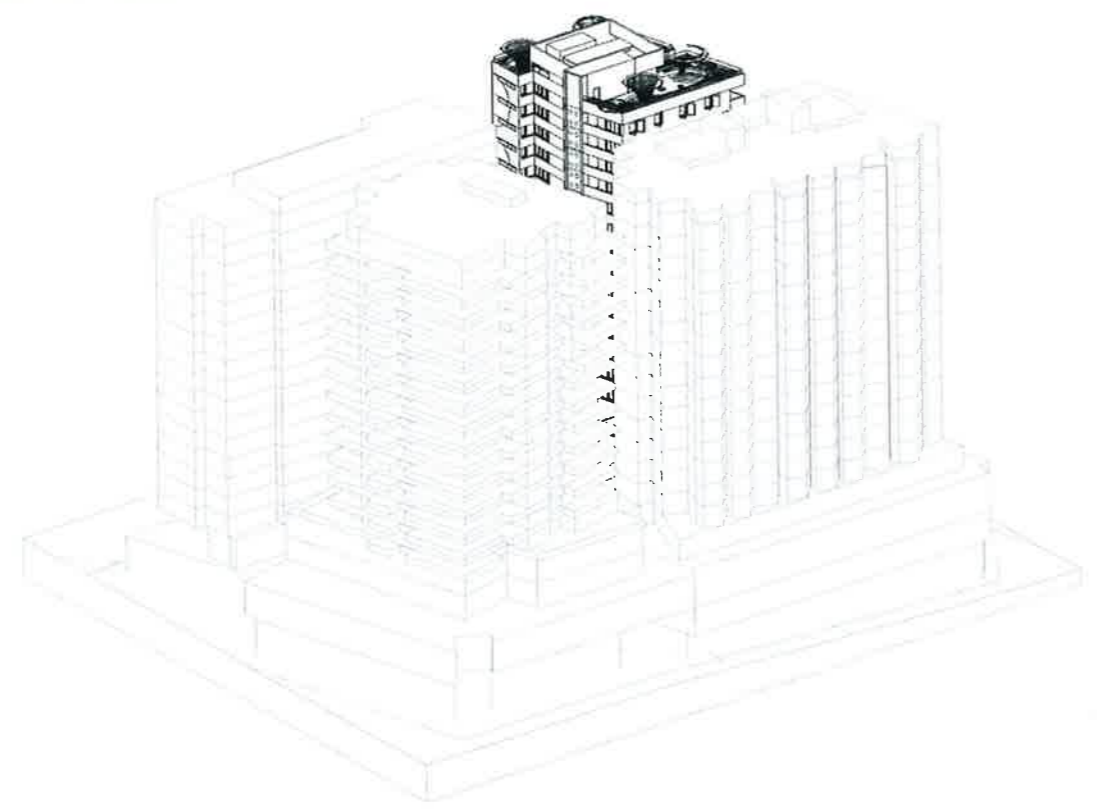
Rev	Date	Revision	By	Chk
6	15 07 2016	Revised DA Issue	SH	SH
7	19 10 2016	Issue for Information	NK	AH
8	11 11 2016	Revised DA Issue	NK	AH
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	30 06 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH



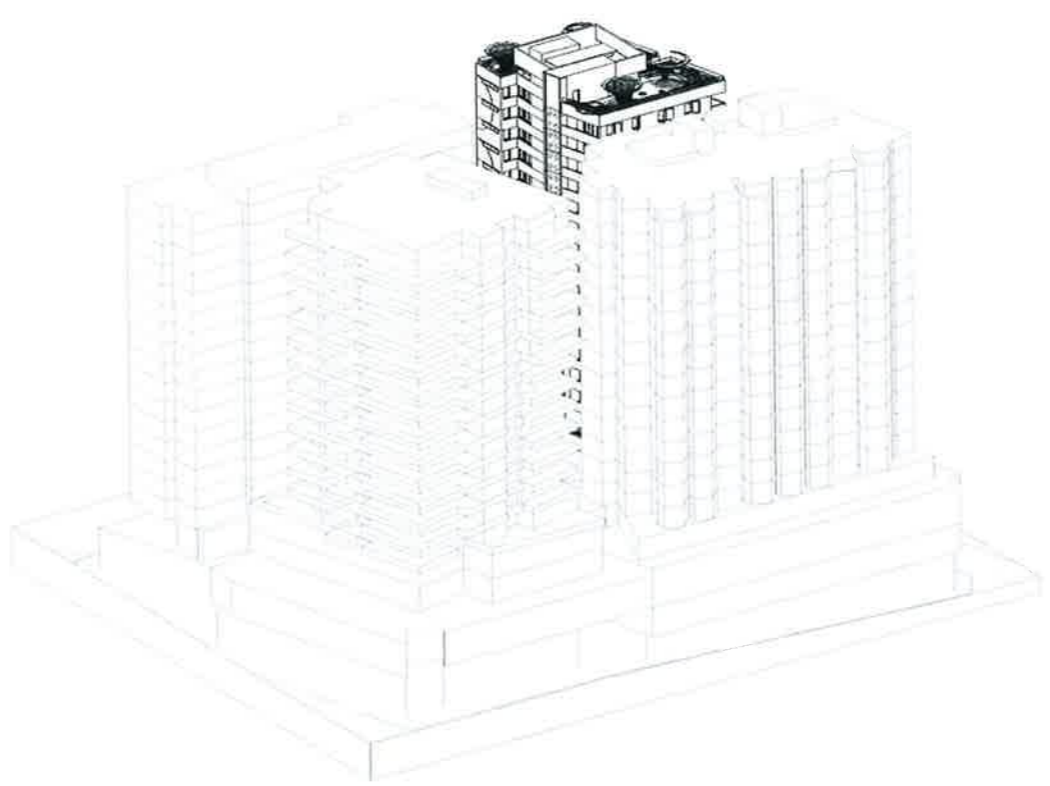
WINTER 1:30PM



WINTER 1:45PM



WINTER 2PM



WINTER 2:15PM

Client



Project

MILLIGAN - Regent Street, Redfern

80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

Drawing Name

View from the Sun - Sheet 5

Date: 09.10.2017 Scale: @ A1 Sheet Size

Drawn: NK Chk: AH

Job No: 5359 Drawing No: DA-3015 Revision: / 14

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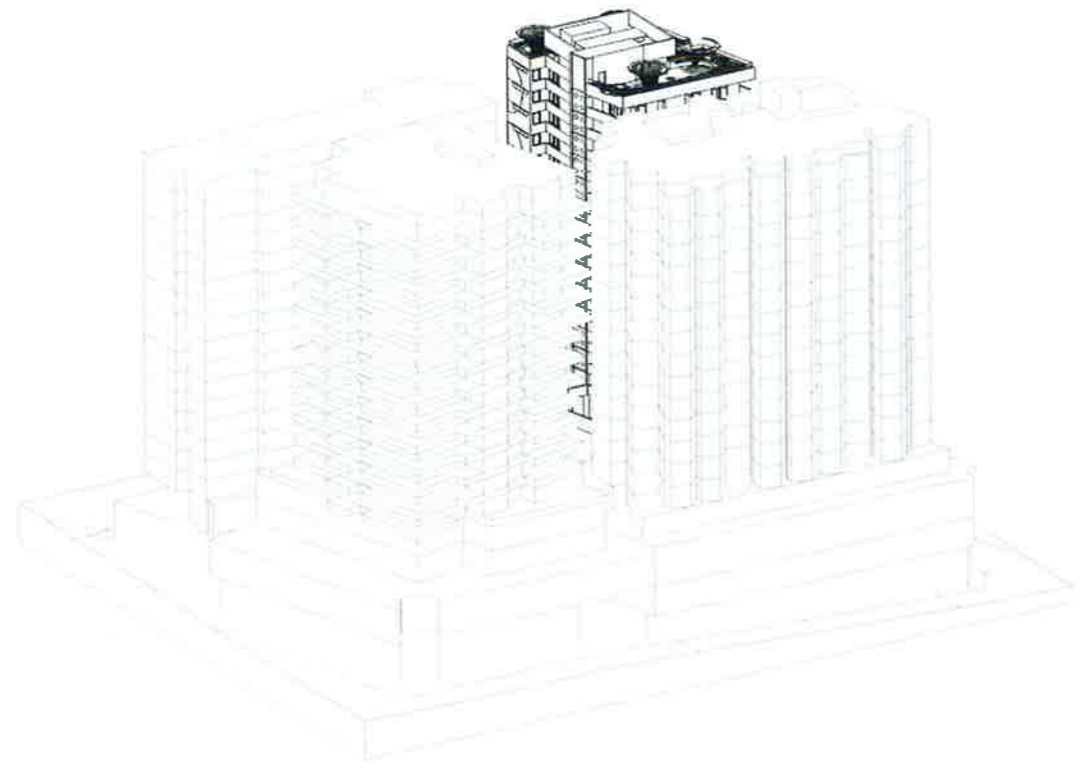


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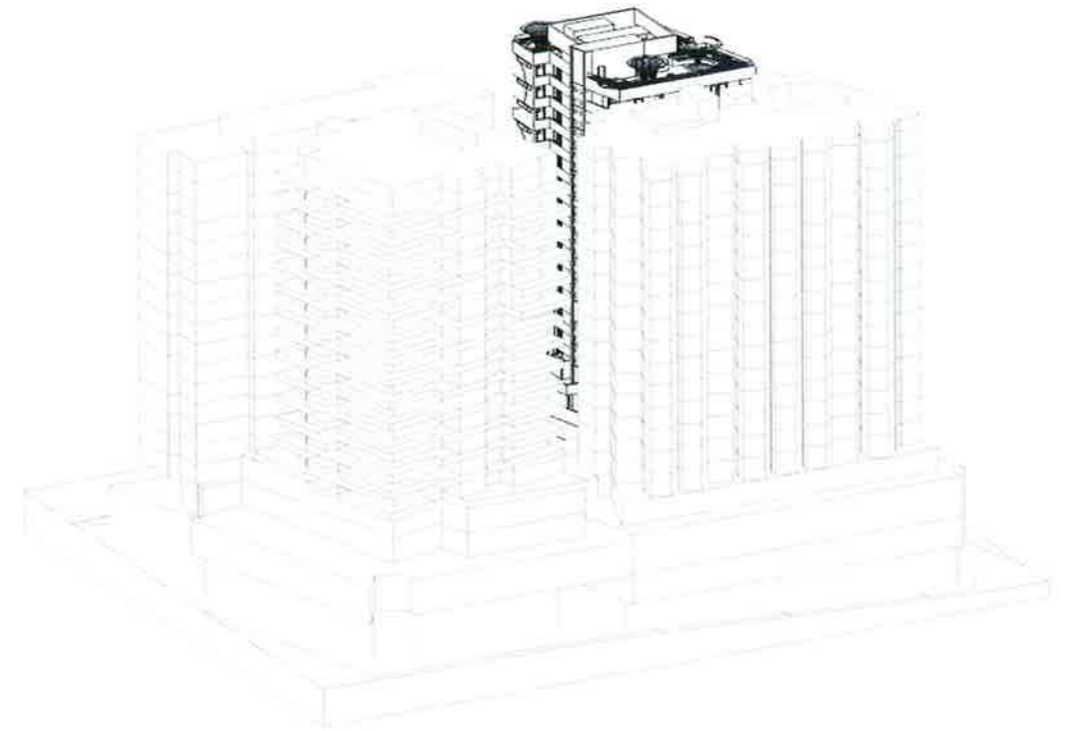
Nominated Architects: Adam Haddow-7188 | John Pradel-7004

**FOR APPROVAL**

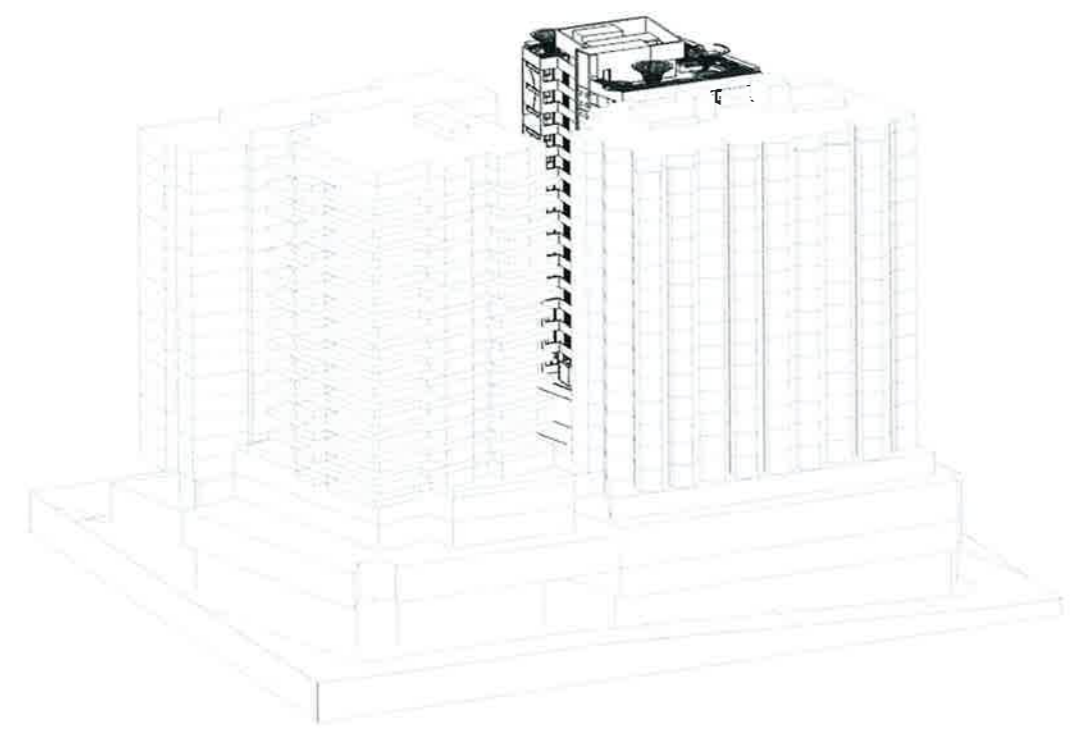
Rev.	Date	Revision	By	Chk.
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10	10-03-2017	Revised DA Issue	MY	SH
11	07-04-2017	Revised DA Issue	SH	SH
12	30-06-2017	Revised DA Issue	SH	SH
14	09-10-2017	Revised DA Issue Roof Enclosure Removed	SH	SH



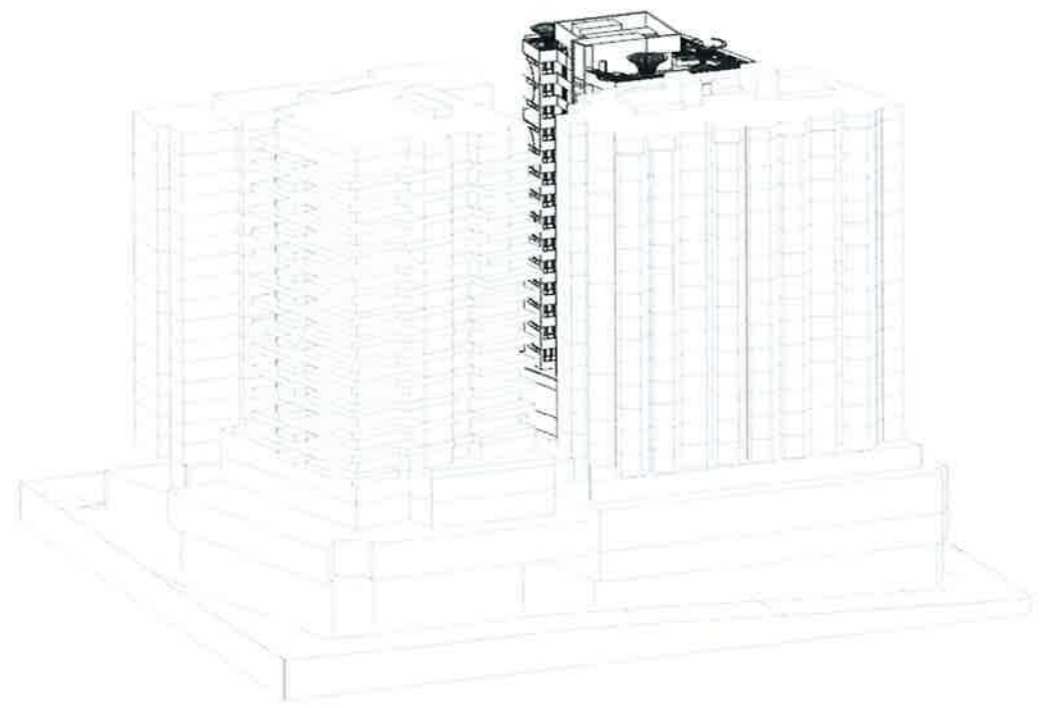
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WINTER 2:45PM



WINTER 3PM



WINTER 3:15PM

Client



Project

MILLIGAN - Regent Street, Redfern

80-88 Regent St, Redfern for Sunny Thirdi Regent St Pty Ltd

Drawing Name

View from the Sun - Sheet 6



Date 09.10.2017 Scale @ A1 Sheet Size

Drawn NK Chk. AH

Job No. 5359 Drawing No. DA-3016 Revision / 14

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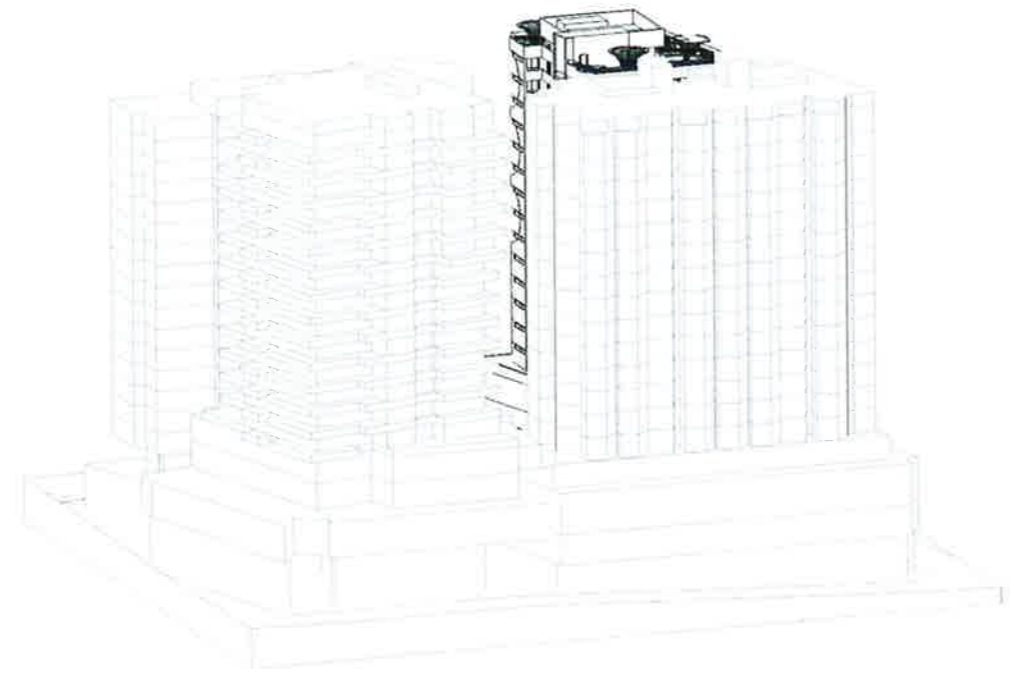


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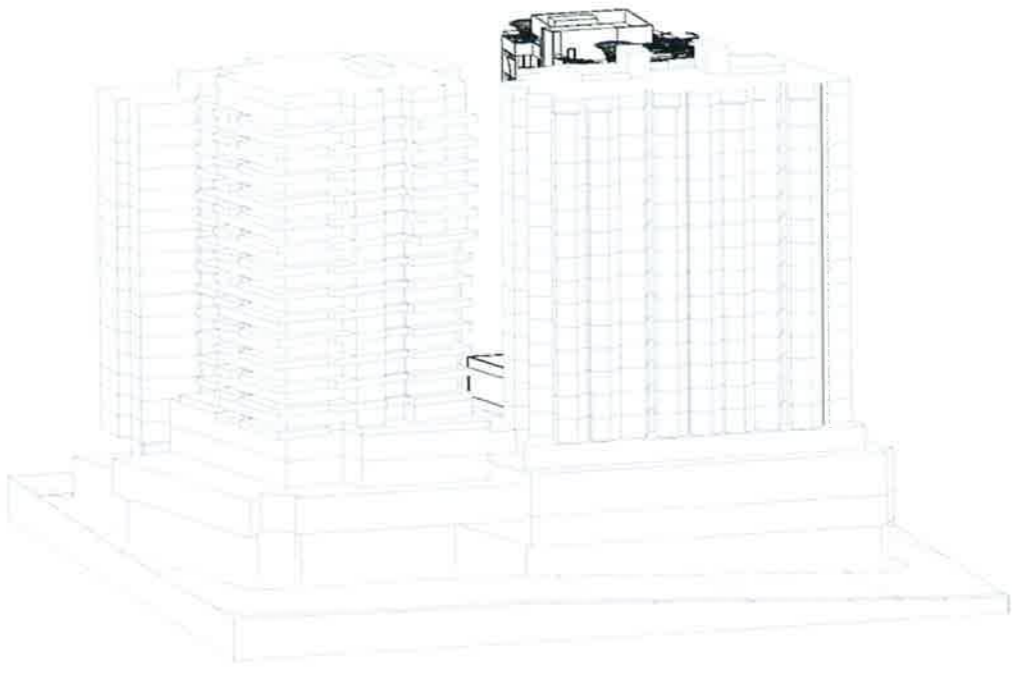
Nominated Architects: Adam Haddow-7188 | John Pradel-7004

**FOR APPROVAL**

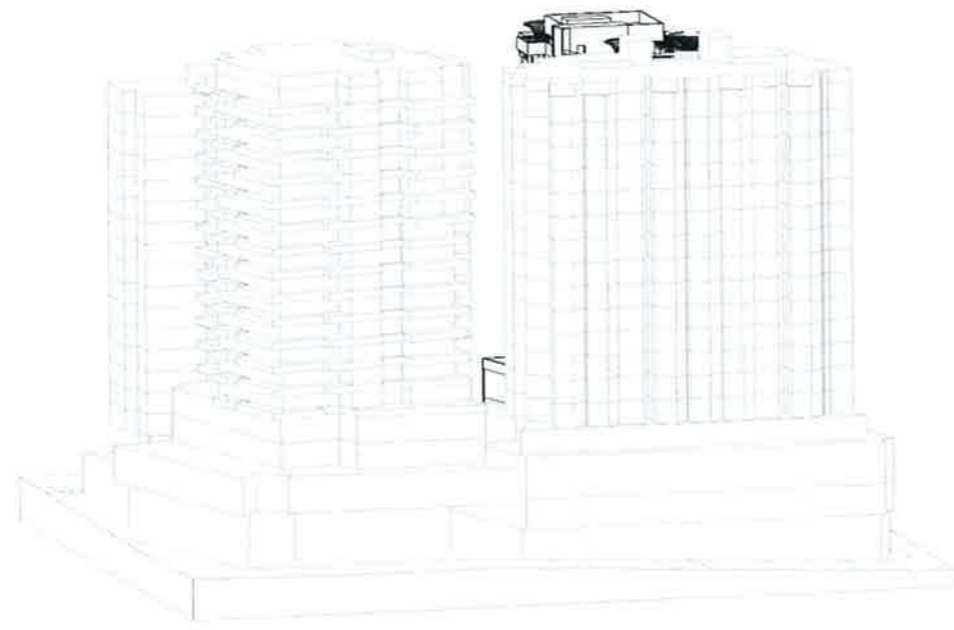
Rev.	Date	Revision	By	Chk.
8	11 11 2016	Revised DA Issue	NK	AH
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	30 06 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH



WINTER 3:30PM



WINTER 3:45PM



WINTER 4PM

Client



Project

MILLIGAN - Regent Street, Redfern

80-88 Regent St, Redfern for Sunny Thirdi Regent St Pty Ltd

Drawing Name

View from the Sun - Sheet 7



Date 09.10.2017 Scale @ A1 Sheet Size

Drawn NK Chk. AH

Job No. 5359 Drawing No. DA-3017 Revision / 14

SJB Architects  
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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	Chk
5	21 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	SH	SH
8	11 11 2016	Revised DA Issue	FK	AH
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	30 05 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH

157 Redfern St  
Unit Type H- L18

Camera 1



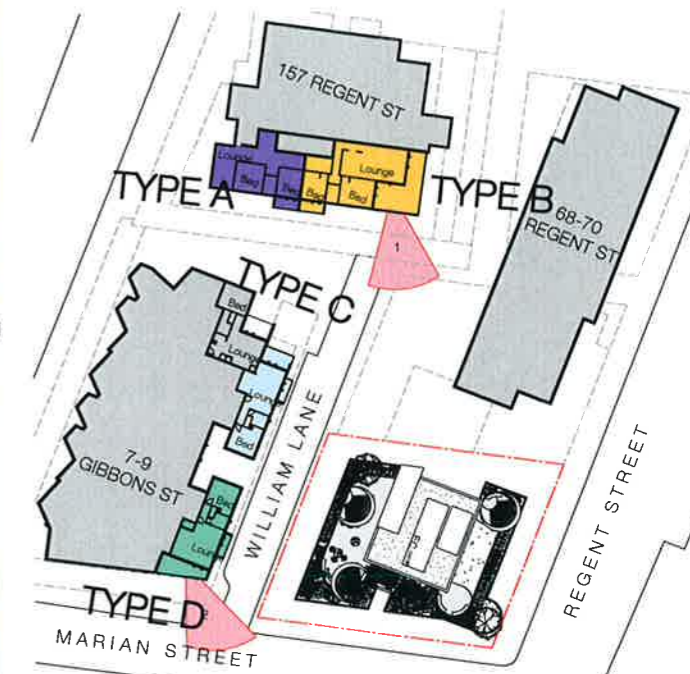
Existing including approved Iglu development

157 Redfern St  
Unit Type H- L18

Camera 1



Proposed



Approximate Camera Location

7-9 Gibbons St  
LB

Camera 2



Existing

7-9 Gibbons St  
LB

Camera 2



Proposed

Client



Project

MILLIGAN - Regent Street, Redfern

80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

Drawing Name

Preliminary Analysis - View Impact Sheet 1

Date: 09.10.2017 Scale: 1:500 Sheet Size: @ A1

Drawn: JTG Chk: SH

Job No: 5359 Drawing No: DA-3031 Revision: / 14

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Nominated Architects: Adam Haddow-7186 | John Pradel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	Chk
5	21 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	SH	SH
8	11 11 2016	Revised DA Issue	NK	AM
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH

7-9 Gibbons St  
L8

Camera 1



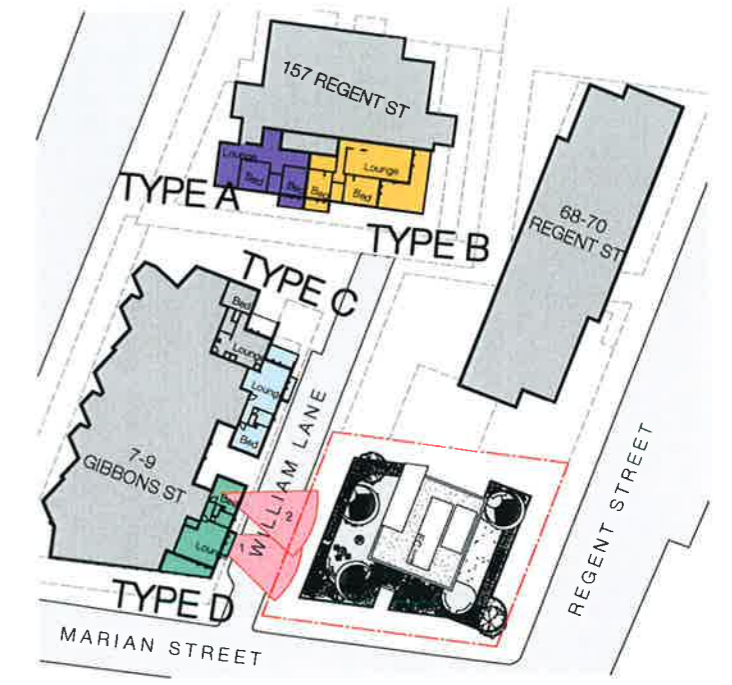
Existing

7-9 Gibbons St  
L8

Camera 1



Proposed



Approximate Camera Location

7-9 Gibbons St  
L8

Camera 2



Existing

7-9 Gibbons St  
L8

Camera 2



Proposed

Client



Project

MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for Sunny Thirdi Regent St Pty Ltd

Drawing Name

Preliminary Analysis - View Impact Sheet 2

Date: 09.10.2017 Scale: 1 : 500 Sheet Size: @ A1

Drawn: JTG Chk: SH

Job No: 5359 Drawing No: DA-3032 Revision: / 14

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	Chk
5	21.05.2016	Revised DA Issue	SH	SH
6	15.07.2016	Revised DA Issue	SH	SH
8	11.11.2016	Revised DA Issue	NK	SH
10	10.03.2017	Revised DA Issue	MY	SH
11	07.04.2017	Revised DA Issue	SH	SH
12	30.06.2017	Revised DA Issue	SH	SH

7-9 Gibbons St  
L14

Camera 1



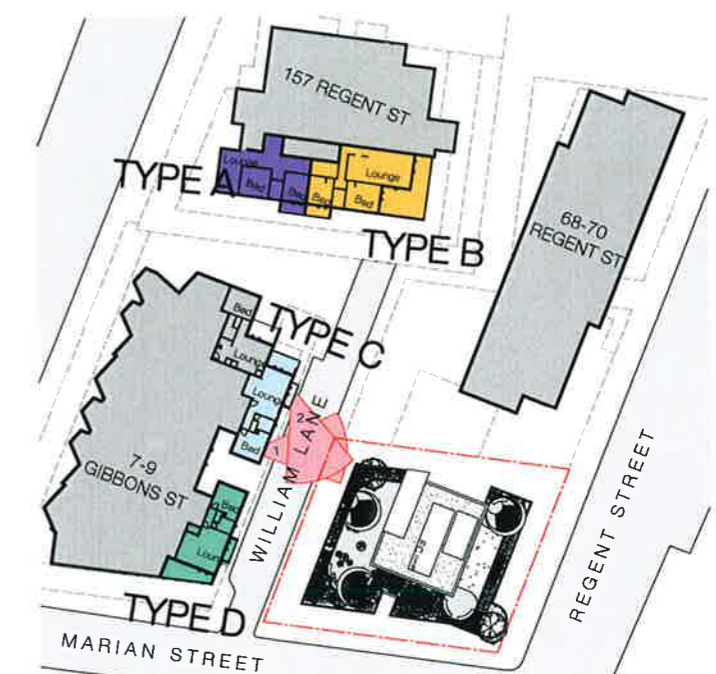
Existing including proposed Iglu development

7-9 Gibbons St  
L14

Camera 1



Proposed



Approximate Camera Location

7-9 Gibbons St  
L14

Camera 2



Existing

7-9 Gibbons St  
L14

Camera 2



Proposed

Client



Project

MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for Sunny Thirdi Regent St Pty Ltd

Drawing Name

Preliminary Analysis - Visual Impact Sheet 3

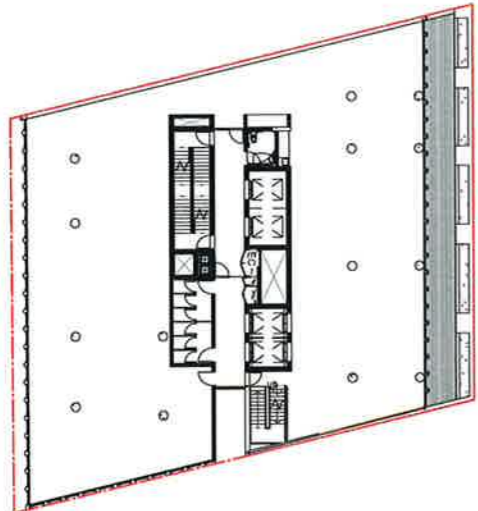
Date: 30.06.2017 Scale: 1 : 500 Sheet Size: @ A1

Drawn: JTG Chk: SH

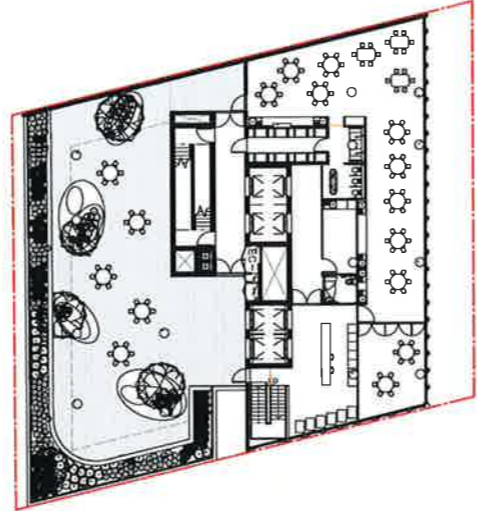
Job No: 5359 Drawing No: DA-3033 Revision: / 12

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Sunny Hills NSW  
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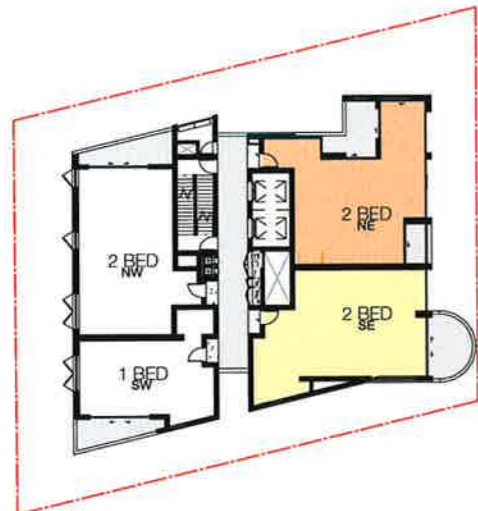
Level 2



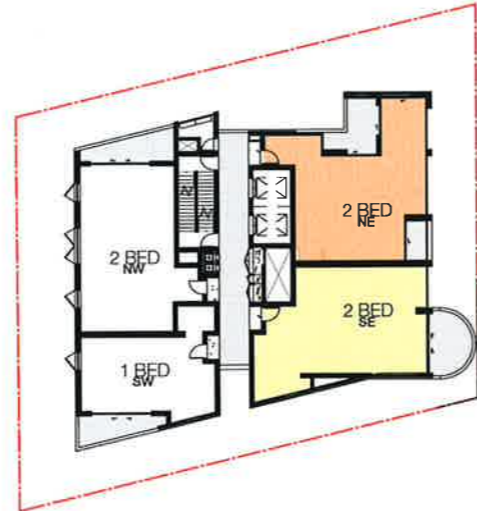
Level 3



Level 4



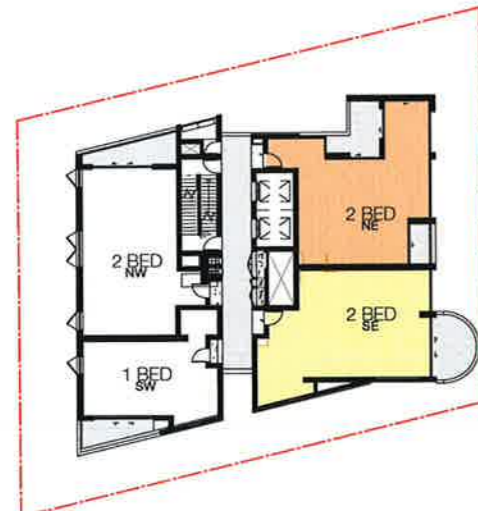
Level 5



Level 6



Level 7



Level 8



Level 9



Level 10

**KEY:**

- Apartment gets 2 hrs of solar to living area between 9am and 3pm
- Apartment gets 2 hrs of solar to living area between 8am and 4pm

---

**9am - 3pm  
SOLAR ACCESS SUMMARY**

TOTAL NUMBER OF APARTMENTS	56
APARTMENTS RECEIVING SOLAR ACCESS	29
	52%

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Nominated Architects: Adam Haddock-7188 | John Pradel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	Chk
7	10/10/2016	Issue for Information	JJK	AH
8	11/11/2016	Revised DA Issue	JJK	AH
10	10/03/2017	Revised DA Issue	MY	SH
11	07/04/2017	Revised DA Issue	SH	SH
12	05/06/2017	Revised DA Issue	SH	SH
14	06/10/2017	Revised DA Issue Roof Enclosure Removed	SH	SH



Client  
**MILLIGAN - Regent Street, Redfern**  
80-88 Regent St, Redfern for Sunny Thirdi Regent St Pty Ltd

Drawing Name  
Analysis - Solar Access 9am-3pm Sheet 1

Date: 09.10.2017 Scale: 1 : 250 Sheet Size: @ A1


Drawn: NK Chk: AH


Job No: 5359 Drawing No: DA-3201 / 14

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

**KEY:**

 Apartment gets 2 hrs of solar to living area between 9am and 3pm

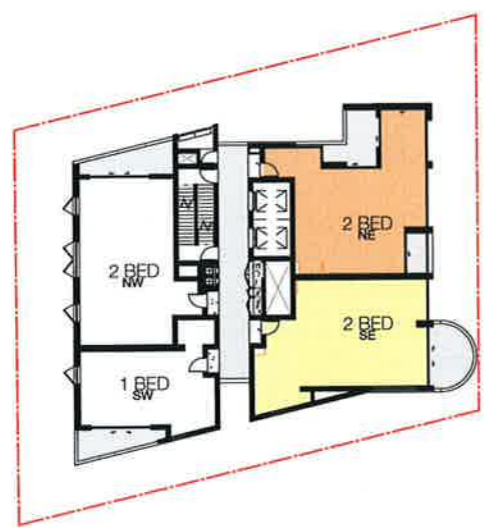
 Apartment gets 2 hrs of solar to living area between 8am and 4pm

**9am - 3pm  
SOLAR ACCESS SUMMARY**

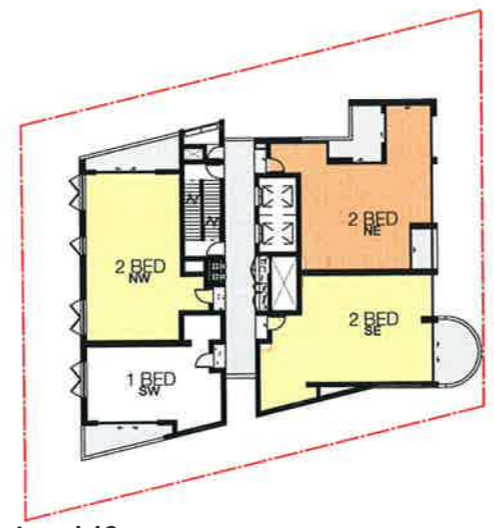
TOTAL NUMBER OF APARTMENTS	56
APARTMENTS RECEIVING SOLAR ACCESS	29
	52%

**FOR APPROVAL**

Rev	Date	Revision	By	Chk
7	10 10 2016	Issue for Information	NK	AH
8	11 11 2016	Revised DA Issue	NK	AH
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	25 05 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH



Level 11



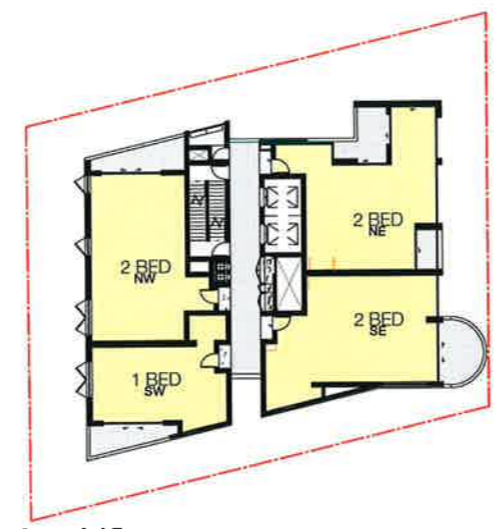
Level 12



Level 13



Level 14



Level 15



Level 16



Level 17



Client  
Project  
MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for Sunny Thirdi Regent St Pty Ltd

Drawing Name  
Analysis - Solar Access 9am-3pm Sheet 2

Date  
09.10.2017

Scale  
1 : 250

Sheet Size  
@ A1

Drawn  
NK

Chk  
AH

Job No.  
5359

Drawing No.  
DA-3202

Revision  
/ 14

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Nominated Architects: Adam Haddow-7186 | John Pradel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	Chk
11	07/04/2017	Revised DA Issue	SH	SH
12	30/06/2017	Revised DA Issue	SH	SH
14	09/10/2017	Revised DA Issue Road Enclosures Revisited	SH	SH

Location	Apartment Numbers						L-.03	L-.04			Total Per Level	Total Per Level		
	L-.01		L-.02		L-.03			L-.04						
	Northeast 2 Bed	8am-4pm	9am-3pm	Southeast 2 Bed	8am-4pm	9am-3pm	Southwest 1 Bed	8am-4pm	9am-3pm	Northwest 2 Bed	8am-4pm	9am-3pm	Total Per Level 8am-4pm	Total Per Level 9am-3pm
Level 4	8:00-10:30 2:45-3:30	3 hrs 15 mins	1 hrs 45 mins	8:00-10:45	2 hrs 45 mins	2 hrs 45 mins	10:30-10:45	15 mins	15 mins	10:00-11:15	1 hr 15 mins	1 hr 15 mins	2	1
Level 5	8:00-10:30 2:45-3:30	3 hrs 15 mins	1 hrs 45 mins	8:00-10:45	2 hrs 45 mins	2 hrs 45 mins	10:30-10:45	15 mins	15 mins	10:00-11:15	1 hr 15 mins	1 hr 15 mins	2	1
Level 6	8:00-10:30 2:45-3:30	3 hrs 15 mins	1 hrs 45 mins	8:00-11:00	3 hrs	3 hrs	10:30-10:45	15 mins	15 mins	10:00-11:15	1 hr 15 mins	1 hr 15 mins	2	1
Level 7	8:00-10:30 2:45-3:30	3 hrs 15 mins	1 hrs 45 mins	8:00-11:00	3 hrs	3 hrs	10:30-10:45	15 mins	15 mins	10:00-11:15	1 hr 15 mins	1 hr 15 mins	2	1
Level 8	8:00-10:30 2:45-3:30	3 hrs 15 mins	1 hrs 45 mins	8:00-11:00	3 hrs	3 hrs	10:30-10:45	15 mins	15 mins	10:00-11:15	1 hr 15 mins	1 hr 15 mins	2	1
Level 9	8:00-10:30 2:45-3:30	3 hrs 15 mins	1 hrs 45 mins	8:00-11:00	3 hrs	3 hrs	10:30-10:45	15 mins	15 mins	10:00-11:15	1 hr 15 mins	1 hr 15 mins	2	1
Level 10	8:00-10:30 2:45-3:30	3 hrs 15 mins	1 hrs 45 mins	8:00-11:00	3 hrs	3 hrs	10:30-12:00	1 hr 30 mins	1 hr 30 mins	10:00-11:15	1 hr 15 mins	1 hr 15 mins	2	1
Level 11	8:00-10:30 2:45-3:30	3 hrs 15 mins	1 hrs 45 mins	8:00-11:15	3 hrs 15 mins	3 hrs 15 mins	10:30-12:00	1 hr 30 mins	1 hr 30 mins	9:45-11:15	1 hr 30 mins	1 hr 30 mins	2	1
Level 12	8:00-10:30 2:45-3:30	3 hrs 15 mins	1 hrs 45 mins	8:00-11:15	3 hrs 15 mins	3 hrs 15 mins	10:30-12:00	1 hr 30 mins	1 hr 30 mins	9:45-12:15	2 hrs 30 mins	2 hrs 30 mins	3	2
Level 13	8:00-10:30 1:00-3:30	5 hrs	3 hrs 30 mins	8:00-11:15	3 hrs 15 mins	3 hrs 15 mins	10:30-12:00	1 hr 30 mins	1 hr 30 mins	9:30-2:30	5 hrs	5 hrs	3	3
Level 14	8:00-10:30 1:00-3:30	5 hrs	3 hrs 30 mins	8:00-11:15	3 hrs 15 mins	3 hrs 15 mins	10:30-12:30	2 hrs	2 hrs	9:15-2:30	5 hrs 15 mins	5 hrs 15 mins	4	4
Level 15	8:00-10:30 11:00-3:30	7 hrs	5 hrs 30 mins	8:00-11:30	3 hrs 30 mins	3 hrs 30 mins	10:30-1:00	2 hrs 30 mins	2 hrs 30 mins	9:00-2:30	5 hrs 30 mins	5 hrs 30 mins	4	4
Level 16	8:00-10:30 11:00-3:30	7 hrs	5 hrs 30 mins	8:00-12:00	4 hrs	4 hrs	10:30-1:45	3 hrs 15 mins	3 hrs 15 mins	8:30-2:30	6 hrs	5 hrs 30 mins	4	4
Level 17	8:00-10:30 11:00-3:30	7 hrs	5 hrs 30 mins	8:00-2:00	6 hrs	6 hrs	10:30-3:00	4 hrs 15 mins	4 hrs 15 mins	8:00-3:00	7 hrs	6 hrs 30 mins	4	4
Sub Total		14	5		14	14		4	4		7	7	38	29
Total Number of Units		56											67.86%	51.79%
Total	Units achieving 2+ Hours of Solar Access between 8am-4pm						38/56 Units							
	Units achieving 2+ Hours of Solar Access between 9am-3pm						29/56 Units							

Client



Project

MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for  
Sunny Thirdi Regent St Pty Ltd

Drawing Name

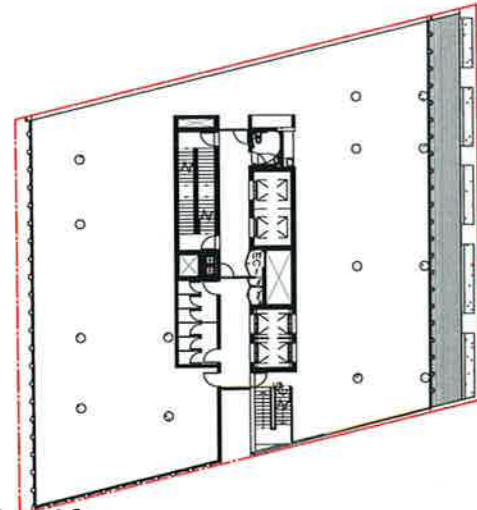
Analysis - Solar Access 9am-3m  
Sheet 3

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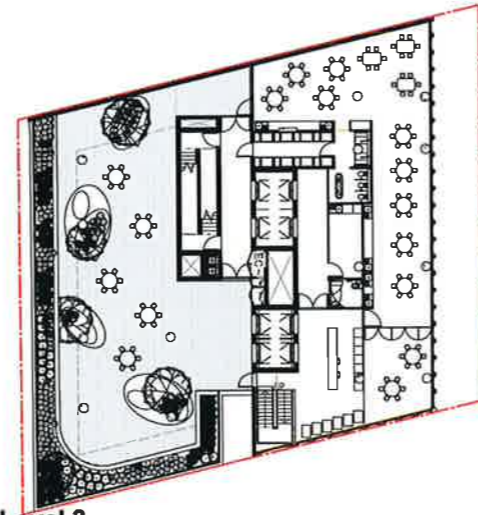
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Job No: 5359 Drawing No: DA-3203 Revision: / 14

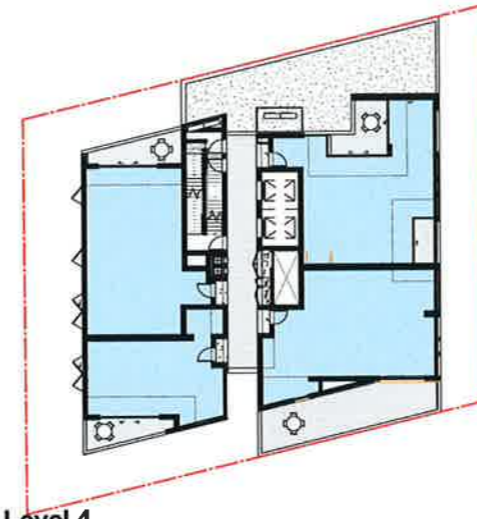
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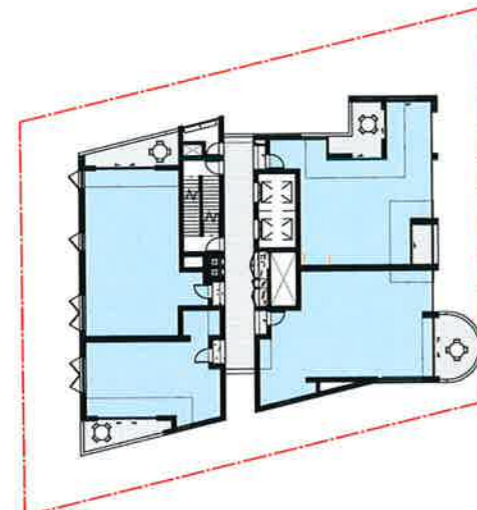
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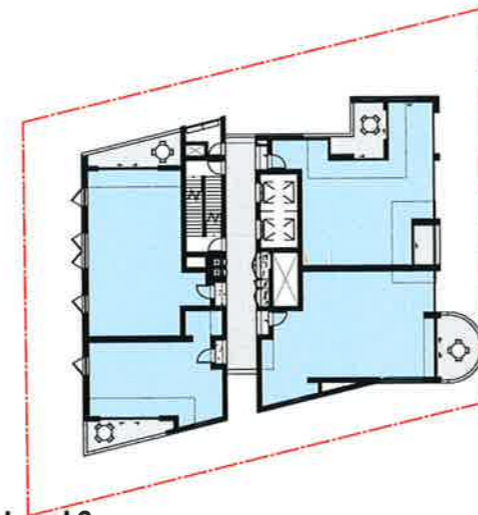
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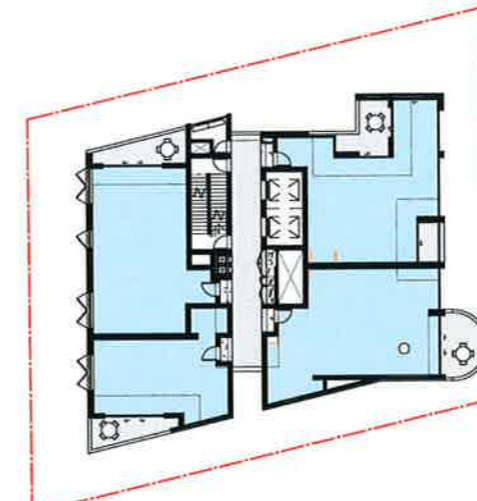
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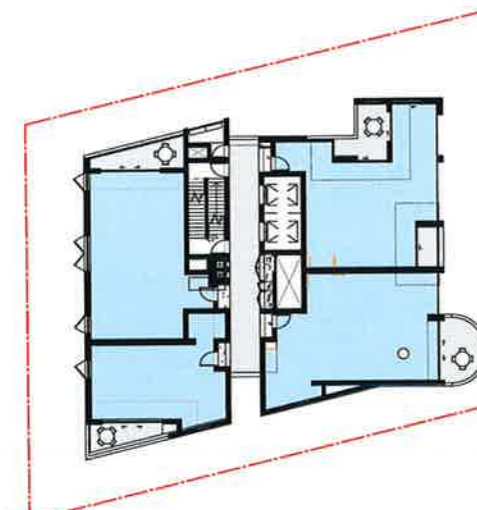
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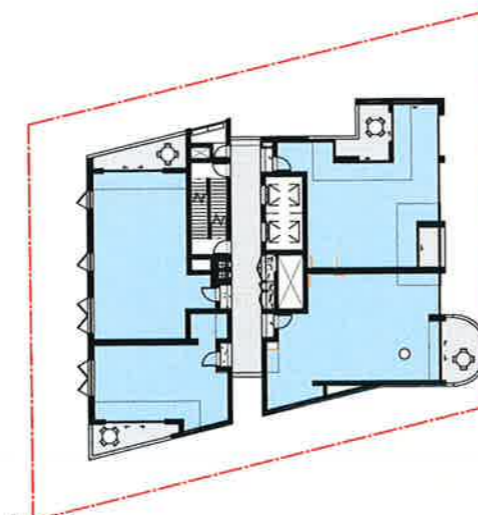
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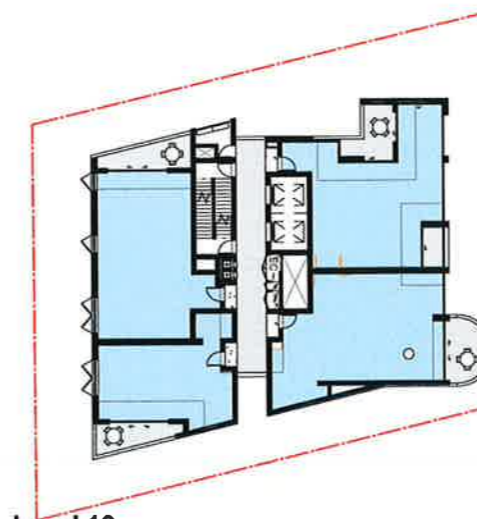
Level 7



Level 8




Level 9



Level 10

**KEY:**

 Apartment gets 2 hrs of solar to living area between 9am and 3pm

**CROSS VENTILATION SUMMARY**

TOTAL NUMBER OF APARTMENTS 56  
 APARTMENTS RECEIVING CROSS VENTILATION 56  
 100%

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	Chk
3	13 01 2016	Crft DA Issue	DS	SH
4	19 01 2016	DA Issue	NK	SH
5	21 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	SH	SH
8	11 11 2016	Revised DA Issue	NK	AH
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	20 06 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH

Client



Project

MILLIGAN - Regent Street, Redfern  
 80-88 Regent St, Redfern for Sunny Thirdi Regent St Pty Ltd

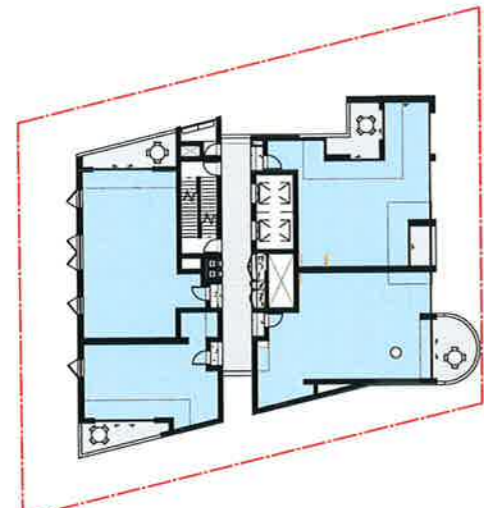
Drawing Name

Analysis - Cross Ventilation Sheet1

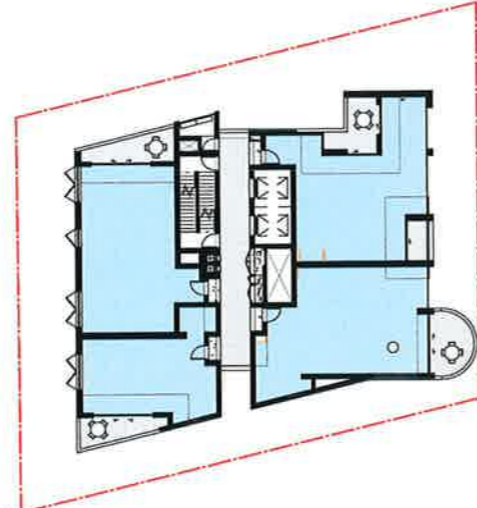
Date 09.10.2017 Scale 1 : 250 Sheet Size @ A1

Drawn NK Chk. AH

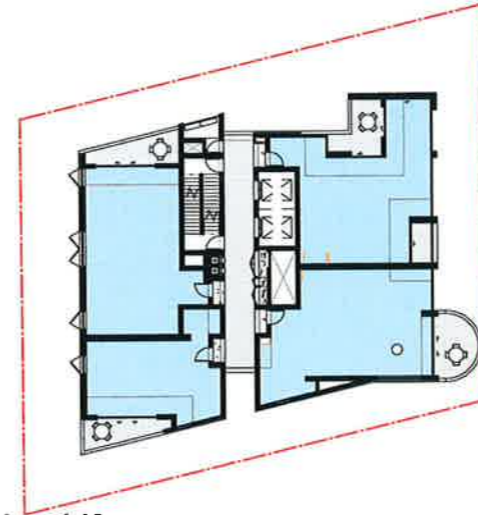
Job No. 5359 Drawing No. DA-3205 Revision / 14



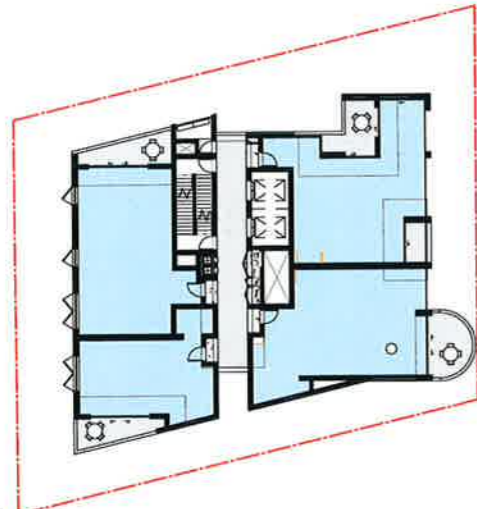
Level 11



Level 12



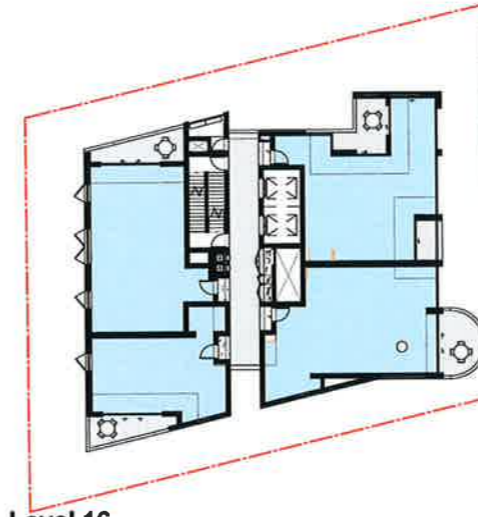
Level 13



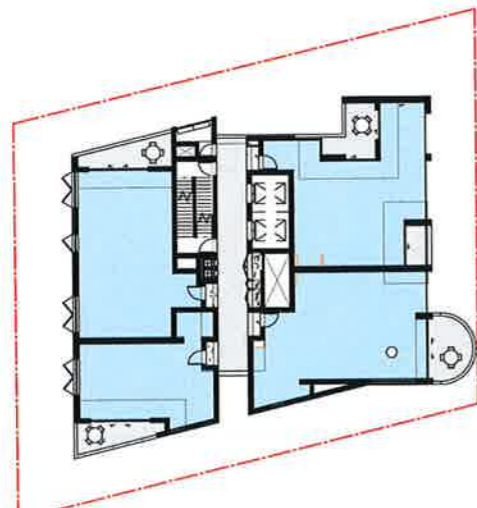
Level 14



Level 15




Level 16



Level 17

**KEY:**

 Apartment gets 2 hrs of solar to living area between 9am and 3pm

**CROSS VENTILATION SUMMARY**

TOTAL NUMBER OF APARTMENTS 56  
 APARTMENTS RECEIVING CROSS VENTILATION 56  
 100%

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	Chk
3	13 01 2016	Final DA Issue	DS	SH
4	19 01 2016	DA Issue	NK	SH
5	21 05 2016	Revised DA Issue	SH	SH
6	15 07 2016	Revised DA Issue	SH	SH
8	11 11 2016	Revised DA Issue	NK	SH
10	10 03 2017	Revised DA Issue	MY	SH
11	07 04 2017	Revised DA Issue	SH	SH
12	30 06 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Road Enclosure Removed	SH	SH

Client



Project

MILLIGAN - Regent Street, Redfern  
 80-88 Regent St, Redfern for  
 Sunny Thirdi Regent St Pty Ltd

Drawing Name

Analysis - Cross Ventilation Sheet 2



Date: 09.10.2017 Scale: 1 : 250 Sheet Size: @ A1

Drawn: DS Chk: SH

Job No.: 5359 Drawing No.: DA-3206 Revision: / 14

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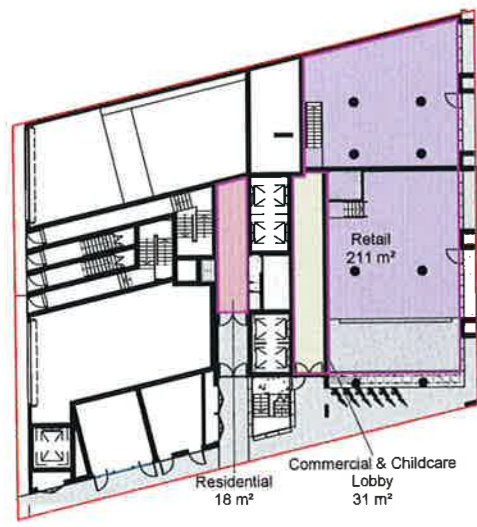


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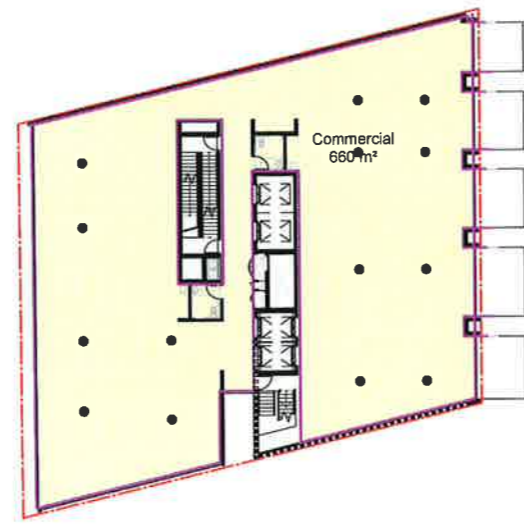
Nominated Architects: Adam Haddock-7188 | John Praeger-7004

**FOR APPROVAL**

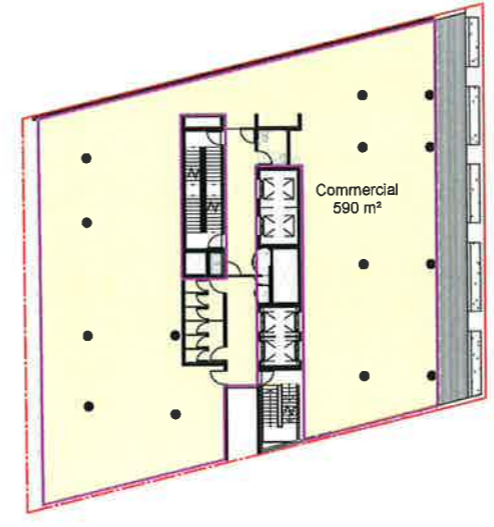
Rev	Date	Revision	By	Chk
3	13.01.2016	Issue DA Issue	DS	SH
4	19.01.2016	DA Issue	NK	SH
5	21.05.2016	Revised DA Issue	SH	SH
6	15.07.2016	Revised DA Issue	SH	SH
7	19.10.2016	Issue for Information	NK	AH
8	11.11.2016	Revised DA Issue	NK	AH
9	08.03.2017	Consultant Issue	MY	SH
10	10.03.2017	Revised DA Issue	MY	SH
11	07.04.2017	Revised DA Issue	SH	SH
12	30.06.2017	Revised DA Issue	SH	SH
14	09.10.2017	Revised DA Issue Roof Enclosure Removed	SH	SH



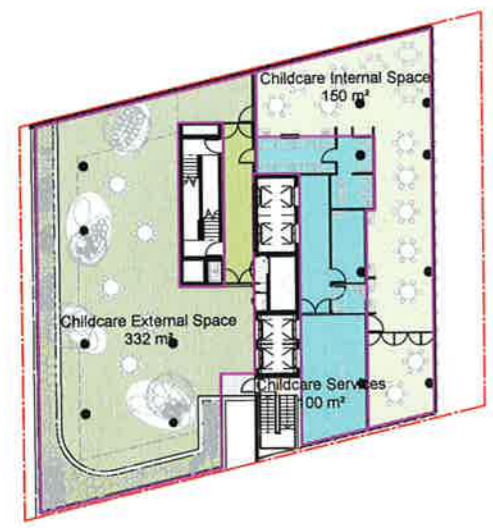
Ground Floor



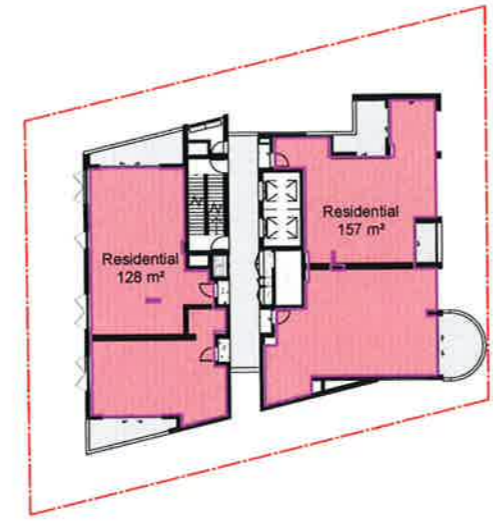
Level 1



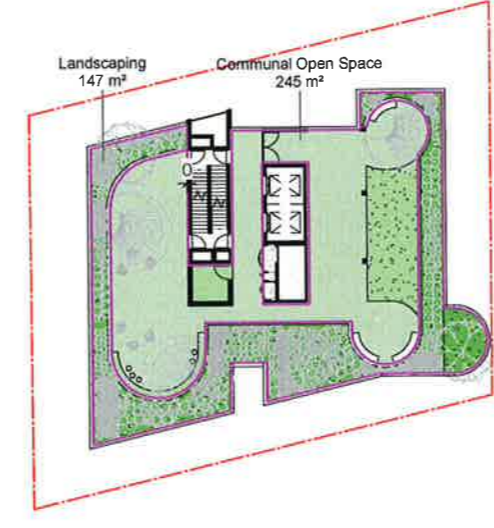
Level 2



Level 3



Level 4-17



Roof

Level	Type	Area
Ground Floor	Commercial & Childcare Lobby	31 m²
Ground Floor	Residential	18 m²
Ground Floor	Retail	211 m²
Level 1	Commercial	660 m²
Level 2	Commercial	590 m²
Level 3	Childcare External Space	332 m²
Level 3	Childcare Internal Space	150 m²
Level 3	Childcare Services	100 m²
Level 4	Residential	285 m²
Level 5	Residential	285 m²
Level 6	Residential	285 m²
Level 7	Residential	285 m²
Level 8	Residential	285 m²
Level 9	Residential	285 m²
Level 10	Residential	285 m²
Level 11	Residential	285 m²
Level 12	Residential	285 m²
Level 13	Residential	285 m²
Level 14	Residential	285 m²
Level 15	Residential	285 m²
Level 16	Residential	285 m²
Level 17	Residential	285 m²
Level 18	Communal Open Space	245 m²
Level 18	Landscaping	147 m²

GFA Area Sub-totals	
Childcare Internal Space	150 m²
Childcare Services	100 m²
Commercial	1250 m²
Commercial & Childcare Lobby	31 m²
Residential	4012 m²
Retail	211 m²
<b>Total</b>	<b>5754 m²</b>

AREA SUMMARY	
SITE AREA	822 sqm
TOTAL GFA	5754
PROPOSED FSR	7.1
TOTAL LANDSCAPE	143 sqm (17.4%)
TOTAL COMMUNAL OPEN SPACE	237 sqm (28.9%)



Client  
 Project  
 MILLIGAN - Regent Street, Redfern  
 80-88 Regent St, Redfern for Sunny Thirdi Regent St Pty Ltd

Drawing Name  
 Analysis - GFA

Date: 09.10.2017  
 Scale: 1 : 250  
 Sheet Size: @ A1

Drawn: NK  
 Chk: SH

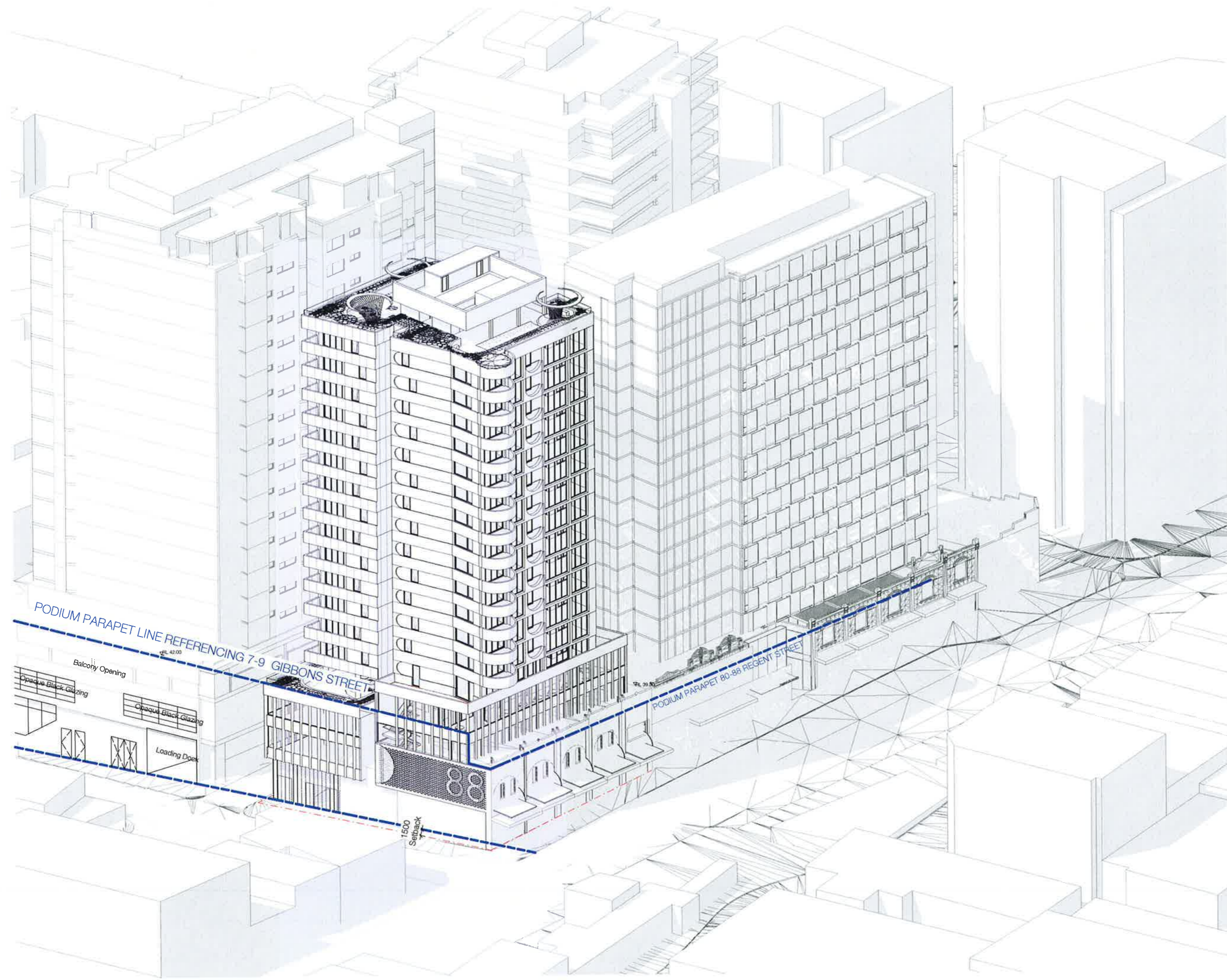
Job No: 5359  
 Drawing No: DA-3207 / 14  
 Revision:

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Nominated Architects: Adam Haddow-7166 | John Pradel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	Chk
7	19 10 2016	Issue for Information	NK	AH
11	07 04 2017	Revised DA Issue	SH	SH
12	30 06 2017	Revised DA Issue	SH	SH
14	09 10 2017	Revised DA Issue Roof Enclosure Removed	SH	SH



Client \_\_\_\_\_



Project  
MILLIGAN - Regent Street, Redfern

80-88 Regent St, Redfern for  
Sunny Third Regent St Pty Ltd

Drawing Name  
Analysis - Massing Study

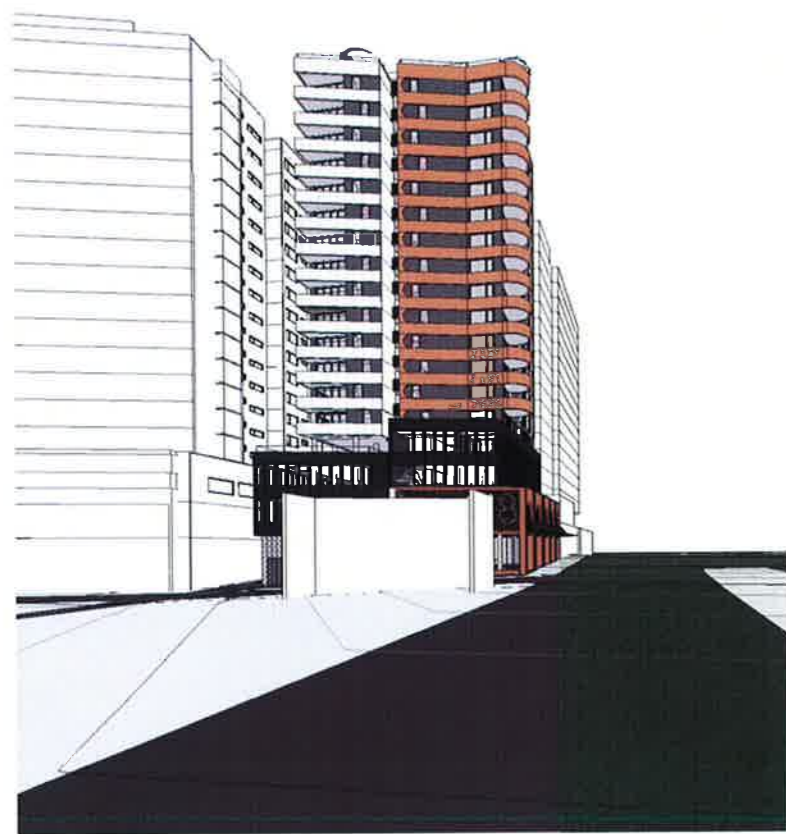
Date \_\_\_\_\_ Scale \_\_\_\_\_ Sheet Size  
09.10.2017 @ A1

Drawn \_\_\_\_\_ Chk \_\_\_\_\_  
NK AH

Job No. \_\_\_\_\_ Drawing No. \_\_\_\_\_ Revision  
5359 DA-3301 / 14

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View\_Regent Looking North



View\_Regent Looking South



View\_Marion Looking Northeast



View\_Redfern St Looking West



Artists Impression - Corner of Regent and Marion Streets

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

**FOR APPROVAL**

Rev	Date	Revision	By	CHK
11	07/04/2017	Revised DA Issue	SH	SH
12	30/06/2017	Revised DA Issue	SH	SH
14	09/10/2017	Revised DA Issue Roof Enclosure Removal	SH	SH

Client



Project

MILLIGAN - Regent Street, Redfern  
80-88 Regent St, Redfern for Sunny Third Regent St Pty Ltd

Drawing Name

Analysis - Street Views

Date: 09.10.2017 Scale: Sheet Size: @ A1

Drawn: SH Chk: SH

Job No: 5359 Drawing No: DA-3302 Revision: / 14

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