

HERITAGE ANALYSIS



Draft St Leonards and Crows Nest 2036 Plan

September 2018 | J2658

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This report was prepared by Weir Phillips Heritage for the Department of Planning and Environment for information only. Advice in this report reflects the independent opinions of Weir Phillips Heritage at the time the analysis was undertaken and does not represent the views of the Department of Planning and Environment and/or the relevant Council.

1.0 INTRODUCTION

1.1 Preamble

This Heritage Analysis has been prepared to guide the heritage aspects of the Draft St Leonards and Crows Nest 2036 Plan (Draft 2036 Plan) being developed by NSW Department of Planning and Environment (DPE). The Precinct traverses the three Local Government Areas (LGA) of North Sydney, Willoughby and Lane Cove. Part of the following suburbs are located within the Precinct:

- Crows Nest;
- Wollstonecraft;
- St Leonards;
- Naremburn;
- Artarmon; and
- Greenwich.

The Draft 2036 Plan will include the vision, objectives and guiding principles for future planning of the Precinct and will outline future land uses, built form proposals, growth projections and the infrastructure required to support population and employment growth. It is informed by the findings of the Stage 1 and Stage 2 technical studies including Urban Design, Public Domain, Social Infrastructure and Open Space, Transport, Heritage, Economic Feasibility and Utilities and Servicing.

To facilitate urban design and planning associated with the Precinct, a heritage analysis is required to support and inform detailed precinct planning to understand where specific heritage considerations are required.

In addition, there are a number of local heritage items listed on each of the Council Local Environmental Plans (LEPs) and several state heritage items. Five heritage conservation areas of local significance also exist in the Precinct, one in Willoughby LGA and four in North Sydney LGA, as follows:

- Naremburn Conservation Area (C8 – Willoughby);
- Holtermann Estate A (CA07 – North Sydney);
- Holtermann Estate B (CA08 – North Sydney);
- Holtermann Estate C (CA09 – North Sydney); and
- Holtermann Estate D (CA18 – North Sydney).

This report contains guidelines for mitigating the impact of potential future development adjacent to heritage items and heritage conservation areas to ensure the significance of these sites are retained.

1.2 Authorship

This analysis has been prepared by Anna McLaurin, B.Envs. (Arch.), M.Herit.Cons., and James Phillips, B.Sc.(Arch.), B.Arch., M.Herit.Cons.(Hons), of Weir Phillips Heritage.

1.3 Limitations

A detailed history of the site and a full assessment of significance to NSW Heritage Division standards was not undertaken. The history contained in this analysis was compiled from readily available sources listed under Section 1.5 below.

An Aboriginal history and assessment was not provided for. No historical archaeology was carried out within the Precinct.

1.4 Documentary Evidence

1.4.1 General References

- Apperly, Richard et al, *A Pictorial Guide to Identifying Australian Architecture*, Sydney, Angus and Robertson, 1989.
- Attenbrow, Val, *Sydney Aboriginal Past: investigating the archaeological and historical records*, NSW, University of New South Wales Press Ltd, 2002.
- Borough of St. Leonards, *Rate and Valuation Records*. Various dates. North Sydney Heritage Centre.
- Godden Mackay, *North Sydney Heritage Study*. Unpublished report for North Sydney Council, 1993, p.43. North Sydney Heritage Collection, Stanton Library.
- John Sands Ltd, *John Sands' Sydney and Suburban Directories*, Sydney, John Sands Ltd, various years.

1.4.2 Maps, Plans and Photographs

- (Aerial photograph) 1943, maps.six.nsw.gov.au
- Plan of the Parish of Willoughby, County of Cumberland, undated. NSW LPI Parish Map Preservation Project.
- North Sydney Council Archives

1.5 Location

The Precinct is located to the north west of the Sydney CBD and encompasses parts of North Sydney, Wollstonecraft, Crows Nest, Artarmon, St Leonards and Greenwich. The Precinct is bisected by the Pacific Highway and contains St Leonards Railway Station. The general location of the Precinct in relation to the Sydney CBD is indicated by the white circle in Figure 1.

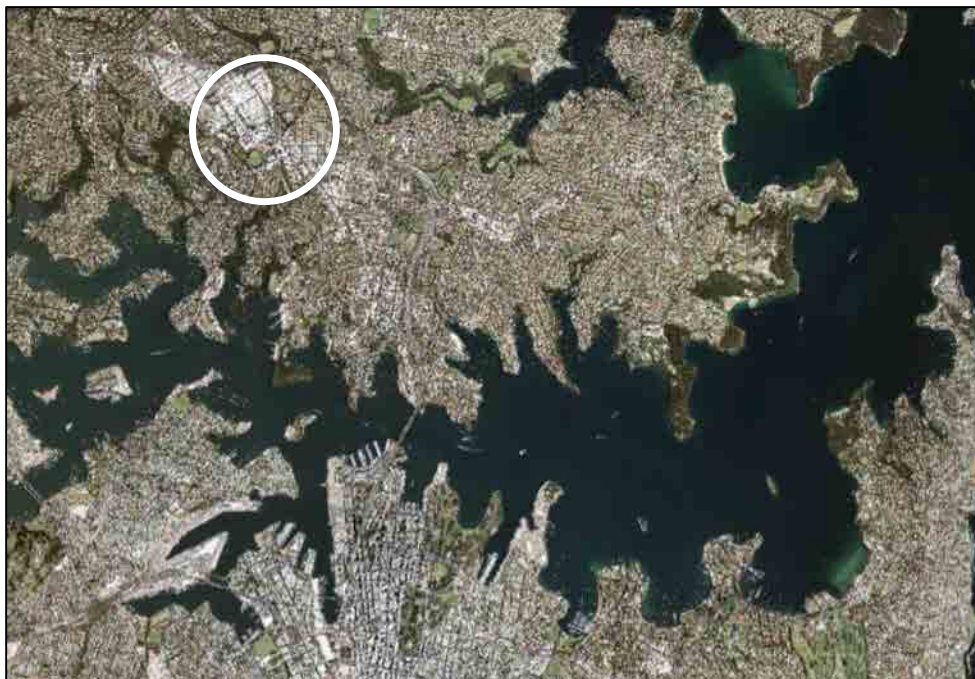


Figure 1: The location of the St Leonards and Crows Nest Station Precinct in relation to the Sydney CBD.

SIX Maps 2017



Figure 2: The extent of the precinct.

SJB 2017

1.6 Precinct Overview

The following description provides an overview of the precinct and the heritage items it contains. For a more detailed assessment of individual heritage items, please refer to **Appendix 1**.

The St Leonards and Crows Nest Station Precinct comprises a number of different urban areas centred around the Pacific Highway corridor. The architectural character of buildings lining the highway varies greatly between large low rise warehouses to 6-8 storey commercial and institutional buildings. The focus of the Precinct is St Leonards Station and surrounding high rise commercial buildings.

The Crows Nest retail precinct is a pedestrian friendly area with predominately two-storey buildings, centred around Willoughby Road.

Surrounding the Precinct are a number of residential areas, mainly characterised by single storey low density detached houses set in leafy streets. A number of these residential areas are listed as Heritage Conservation Areas. These Conservation Areas are:

- Naremburn Conservation Area (C8 – Willoughby);
- Holtermann Estate A (CA07 – North Sydney);
- Holtermann Estate B (CA08 – North Sydney);
- Holtermann Estate C (CA09 – North Sydney); and
- Holtermann Estate D (CA18 – North Sydney).

There are also a number of individually listed local heritage items (Schedule 5 of the relevant Local Environmental Plans) and two items listed on the NSW State Heritage Register:

- Gore Hill Memorial Cemetery, Pacific Highway, Gore Hill SHR No. 01491
- Electricity Power House, 23 Albany Street, Crows Nest SHR No. 00931

There is a distinct cluster of heritage items centred around the 'Five-Ways' intersection (Willoughby Road, Falcon Street, Pacific Highway and Shirley Road), which acts as the gateway to the Precinct when travelling from the south. In the vicinity of the 'Five-Ways' intersection there are 11 heritage items including:

- The Crows Nest Hotel
- The Crows Nest Fire Station
- Former National Australia Bank
- Crows Nest Retail Group, 312 - 338 Pacific Highway, Crows Nest
- Bank, 306 Pacific Highway, Crows Nest

Large institutions of the North Sydney Institute (TAFE), Bradfield College and the Royal North Shore Hospital contain local items of heritage significance.

The following photographs provide an overview of the precinct.



Figure 3: Looking north along the Pacific Highway from the 'Five Ways' intersection which forms the gateway to the precinct from the south.



Figure 4: The St Leonards Centre at Clarke Street and Oxley Street intersection.



Figure 5: One of the modern buildings associated with the Royal North Shore Hospital.



Figure 6: The Willoughby Road shopping strip.



Figure 7: Gore Hill Oval, adjacent to the RNSH and Gore Hill Memorial Cemetery.



Figure 8: The Naremburn HCA along Northcote Street..



Figure 9: The Gore Hill Memorial Cemetery which is listed on the State Heritage Register.



Figure 10: The Electricity Power House which is listed on the State Heritage Register.

2.0 HISTORICAL DEVELOPMENT

2.1 Original Occupation

While an Aboriginal history has not been provided for, it is acknowledged that the northern shores of Sydney Harbour were inhabited by a number of Aboriginal groups at the time of the arrival of the First Fleet in 1788.

The Cammeraigal and the Wallumedegal, part of the larger Ku-ring-gai speaking group, who occupied an area from North Head inland to the Hawkesbury River and north to Lake Macquarie, are recognised as the original occupants of the present-day North Sydney Municipality.

2.2 North Sydney Before 1850

The township of Sydney was established on the southern side of Sydney Harbour in January 1788. All land was declared to be Crown Land. In his *An Account of the English Colony in New South Wales*, published at the end of the eighteenth century, David Collins refers to the North Shore of Sydney Harbour, a designation that remains to this day. From 16 January 1793, successive colonial governors granted land outside the township boundaries in order to further the purposes of settlement. The northern shores of Sydney Harbour were located well outside the first township boundaries.

Beyond use for timber getting and the collection of shells for lime, the North Shore was largely ignored by the first European settlers until a series of small land grants were made in the mid-1790s. Most of these grants were not taken up, but were traded or abandoned for better land elsewhere. Further land grants were made after 1800. Whether occupied or not, most of the land within the present-day North Sydney LGA had been granted by the end of the 1830s.

Among those to acquire land on the North Shore before 1830 were Robert Ryan (1800), Alfred Thrupp (1814), William Blue (1817), James Robertson (1825) and the partnership of Edward Wollstonecraft and Alexander Berry (1821) (Figure 12).

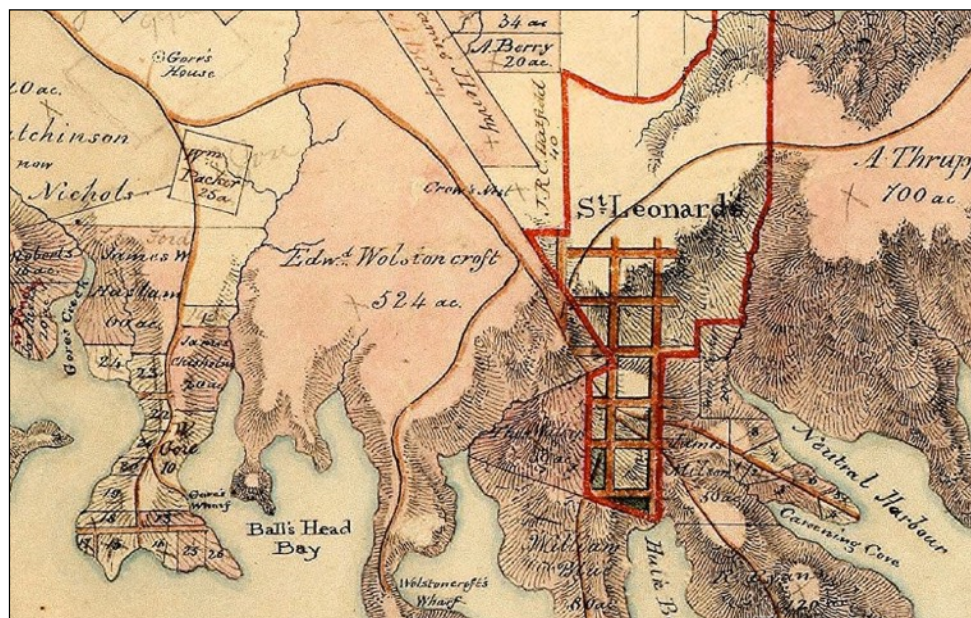


Figure 11: Detail from an undated and unattributed plan of the Parish of Willoughby, County of Cumberland, NSW.

Parish Map Preservation Project

Alexander Berry (1781-1873) arrived in Sydney in January 1808 with the intent of selling supplies to a severely under provisioned New South Wales. With much difficulty in selling his supplies in Sydney, Alexander then traded in timbers from Fiji that he on-sold in Lima. Before returning to England he met Edward Wollstonecraft in Cadiz, Spain whom he later entered into a partnership with in his trading ventures. Both partners sailed to Sydney in 1819 to establish their business.¹

Edward Wollstonecraft and Alexander Berry operated as general merchants, exporting timber, wool, sealskins and other products and importing a wide range of commodities. During Berry's absence in England Edward Wollstonecraft was given a grant of 524 acres by Governor Macquarie on the north side of Sydney Harbour. The North Shore grant was one of several made to either of the partners, with the largest and most important being the vast Coolangatta Estate on the Shoalhaven River. In 1821 Wollstonecraft erected a small cottage on the highest point of his grant, which was then used by the partners when in Sydney. This cottage was called Crow's Nest, for the vantage point it provided.²

Berry and Wollstonecraft were hit hard by the currency reforms of Governor Brisbane of 1822 and during the 1830s, the partnership was often in a perilous financial position. To raise capital, the partners began exporting timber from the Shoalhaven and, for a brief period, from the North Shore.

Edward Wollstonecraft died at Crows Nest in December, 1832, aged 49. Alexander Berry became owner of the 524 acre grant and amalgamated the land with his own 20-acre and 60 acre grants. Berry had received numerous applications requesting the sale of land on the Estate during the 1840s. Under the terms of Wollstonecraft's will, however, Berry was not permitted to sell land on the estate to raise capital. The legal title to the estate was not resolved until 1853.

This came at a time when the first signs of greater development on the North Shore was apparent. The Township of St Leonards was laid out in 1836 on Crown land to the north of Hulk Bay, later Lavender Bay. By 1838, the basic road structure of the township was laid out in a traditional 10-chain grid, with Berry, Mount, Blue and Lavender Streets running east-west and Miller and Walker Streets running north-south.

St Leonards continued to grow; by 1851 it supported a population of 737 people.³ Outside of the township, a pattern of harbourside villa estates developed as substantial residences were constructed at Neutral Bay, Kirribilli, Milsons Point and Lavender Bay to take advantage of the spectacular harbour views. Among the residents were prominent merchants or colonial administrators. Alongside these villas was a pattern of more modest dwellings occupied by people able to obtain local or independent employment.

In September 1854, a second township for the northern shores of Sydney Harbour was proclaimed and it was predicted that:

'...It is no Little Sydney but a North Sydney, a rival to the southern city intended to be a depot for the produce of the rich tracts of land to be opened up between it and the unexplored north of the County of Cumberland.'⁴

A real estate advertisement from March 1855 claimed that:

¹ Perry, T. M., 'Berry, Alexander (1781 - 1873)', *Australian Dictionary of Biography*, 2006. Online Edition, ANU

² Brodsky, Isadore, *North Sydney 1788-1962*, NSW, Municipal Council of North Sydney, 1963, p.26.

³ Bridges, Barry, *The Crows Nest Estate, 1821-1873*, p.20. Unpublished document dated 1996. North Sydney Heritage Collection, Stanton Library.

⁴ Illustrated Sydney News 2 September, 1854.

‘...no town in New South Wales had progressed so rapidly as St. Leonards...(it is)...studded with first class mansions, shops, family houses, cottages and farms in all directions.’⁵

Berry progressively subdivided and sold the Crows Nest estate over the following decades. When Berry made an application to bring the remainder of the Crows Nest Estate under the provisions of the Real Property Act in January 1872, it was valued at £30,000. The estate was described in terms of ‘Blocks A to L’. The blocks varied considerably in size, ranging from as small as one rood to over three hundred acres. Following Alexander’s death in 1873, his brother, David Berry became the owner of the Crows Nest Estate. David Berry resided at Coolangatta and showed little interest in the estate.

The sale of land on the Crows Nest Estate that followed occurred at the beginning of a period of growth and expansion. The period from 1860 to 1890 was one of general economic and urban expansion across Sydney. Between 1881 and 1895 the population of the North Shore grew from 7,000 people to 25,000 people, an increase brought about by the numerous subdivisions that occurred during these years and by improved transportation and services. The development of North Sydney received a significant boost when the North Shore Railway line, between Hornsby and St Leonards, opened in January 1890. The line was extended to Milsons Point in 1893.

Sydney was divided into municipalities during this era. The area now the Municipality of North Sydney was initially divided into two, and later three, separate council areas. The first to be established was the Borough of East St Leonards, declared in 1860; it would not be until 1868, however, that the first Council was elected. The Borough of St Leonards was declared in 1867. Four years later, however, it split, creating the Borough of Victoria. The three boroughs would eventually combine to create the Municipality of North Sydney in 1890.

2.3 Summary of Heritage Sites within the Precinct

The Precinct contains forty-seven (47) heritage items and five (5) Heritage Conservation Areas. Photographs and Statements of Significance for individual heritage items can be found in **Appendix 1**.

Crows Nest: 24 heritage items, 4 Heritage Conservation Areas;⁶ (including 1 item of State Significance.)

St Leonards: 10 heritage items; (including 1 item of State Significance.)

Naremburn: 2 heritage items, 1 Heritage Conservation Area;

Wollstonecraft: 2 heritage items;

Artarmon: 5 heritage items;

Greenwich: 4 heritage items.

3.0 DRAFT ST LEONARDS AND CROWS NEST 2036 PLAN

The following should be read in conjunction with the report prepared by SJB (Urban Design).

The Draft 2036 Plan will include the vision, objectives and guiding principles for future planning of the Precinct and will outline future land uses, built form proposals, growth projections and the infrastructure required to support population and employment growth. It is informed by the findings of the Stage 1 Strategic Employment Review and

⁵ Cited in B. Bridges, *op cit.*, 1996, p.31.

⁶ Note: the Crows Nest Retail Group, the Higgins Buildings and The RNSH Buildings Group contain a number of separate listings per site which have been counted as a group as they have the similar Statements of Significance.

Stage 2 technical studies including Urban Design, Public Domain, Social Infrastructure and Open Space, Transport, Heritage, Economic Feasibility and Utilities and Servicing.

The studies undertaken for the Precinct identified different character areas. These character areas as well as recommendations for proposed works are listed below.

Character Area	Proposed Works	Interface with Heritage Items
St Leonards Commercial Core and Crows Nest Metro Station:	<p>The St Leonards Commercial Core and Crows Nest Metro Station area is proposed to be a true high density centre that ensures the Precinct strengthens its role as a major commercial centre in Sydney.</p> <p>High density commercial, mixed use and residential to be concentrated in land extending from The Forum along Pacific Highway towards the proposed Crows Nest Metro Station. The proposed height of the development will taper downward towards the 'Five Ways' intersection.</p>	A number of the development options are proposed to interface directly with adjoining HCAs and heritage items.
Crows Nest Village:	Crows Nest Village is proposed to be retained in its current form to protect the fine grain scale of the residential and retail area, however, there is proposed to be increased density behind the existing two-storey shops.	Contains a number of heritage items considered significant to the surrounding area.
Residential (Naremburn and Crows Nest):	Naremburn and Crows Nest areas are proposed to be retained for lower density residential development.	Interfaces with heritage items between high density development in the St Leonards Centre and Crows Nest Metro Station character area.
Pacific Highway Corridor:	The Pacific Highway Corridor is proposed to be an activated, high density mixed use corridor with a key focus on employment.	Heritage items clustered around the 'Five Ways' intersection are proposed to be retained.
Residential (Wollstonecraft):	Wollstonecraft is proposed to be retained as medium to high density residential set within a landscaped setting.	A change in setting to the heritage items.
Residential (St Leonards South):	St Leonards South is proposed to be a higher density residential area. Increased densities will be focused in those areas closest to St Leonards Station.	There are proposed interfaces with heritage items and the higher density residential development.

Gore Hill Oval & Cemetery:	<p>The Gore Hill Oval is proposed to be retained for recreational uses to support residents and workers in the Precinct. Council has plans to improve the recreational facilities of Gore Hill Oval.</p> <p>Pedestrian improvements to the Gore Hill Cemetery including paths, furniture and lighting are also proposed.</p>	<p>The proposed facilities required to meet the needs of the increased population surrounding the open space of the Gore Hill Oval may impact on the significance of the Gore Hill Memorial Cemetery.</p> <p>The impacts of the proposed pedestrian improvements will have to be carefully designed to mitigate impact on the Gore Hill Cemetery (listed on the State Heritage Register).</p>
Health and Education:	<p>The Health and Education character area is proposed to be retained for uses associated with health and education industries building on the vision for a 'health and education super precinct'.</p> <p>A Master Plan for this area is currently being developed.</p>	<p>Heritage items within the RNSH site are proposed to be retained and incorporated into any new development</p>
Artarmon Employment Area:	<p>This area is proposed to be protected for employment and urban services. It will evolve into a key high density employment and tech area fostering complementary uses adjoining light industry.</p>	<p>Heritage items within the Artarmon Employment Area are proposed to be retained and incorporated into any new development.</p>

4.0 RESPONSE TO DRAFT 2036 PLAN

The following response addresses the overarching built form recommendations presented in the Draft 2036 Plan. These responses avoid using highly detailed prescriptive controls, as overly prescriptive plans lack flexibility to respond to emerging technological advancements or global trends and can be hamstrung by conflicts arising in the detailed design process.

The diagrams below make reference to propose built forms (dark blue) and heritage items (pink) adjacent or in the vicinity.

For a more detailed assessment of the treatment of adjacent development, please refer to **Appendix 1** for an assessment of the built form recommendations against individual heritage items and conservation areas.

4.1 Guiding Principles:

The following guiding principles provide an overview of mitigation measures that can be taken to reduce the impact of future development within, adjacent or in the vicinity to heritage item or heritage conservation area.

1. Heritage items and conservation areas should be maintained and conserved so they can demonstrate the heritage narrative of the Area in view of the considerable change the Area is undergoing.
2. New development may render some current Development Controls untenable. Where this occurs, new development should take a cautionary approach to conservation of heritage items and of the character of Conservation Areas.
3. The interface between areas of high density and those maintained as Conservation Areas with a far lower density should be carefully considered. Mitigation measures such as planting of trees should be undertaken on the land proposed for higher density, not on the land maintaining lower density.
4. Where a heritage item exists in an area of increased density, surrounding building envelopes should use devices such as podiums and fine detailing to compliment the scale of the Item and surround it with elements of appropriate scale.
5. Heritage items should be able to realise their limited development potential through an ability to sell heritage floor space based on the City of Sydney System and duly modified to account from experience gained from running that scheme.

4.2 Height of buildings

The Precinct is changing rapidly to include high density residential and commercial uplift in the St Leonards Commercial Core.

Response

A building of greater massing and scale will have an impact upon the smaller adjacent heritage items. In providing controls that encourage increased density and uplift, the Department has sought the advice of Weir Phillips Heritage to recommend controls that will enable future development and mitigate the impact on heritage items and conservation areas that are adjacent or in the vicinity to areas of proposed uplift.

Controlling the minimum lot size (1500m²) of a building over 25 storeys allows for a podium within a setback to be incorporated into the design.

The mitigating impacts, which are discussed in detail below, essentially give a relatable scale to the surrounding smaller scale heritage buildings and pedestrians. The disadvantages of incorporating above podium setbacks result in a loss of floorplate and

therefore lettable yield. Restricting development over 25 storeys to a minimum lot size of 1500m² allows for viable podium and tower, and provides more acceptable interface opportunities with smaller adjacent buildings and heritage items.

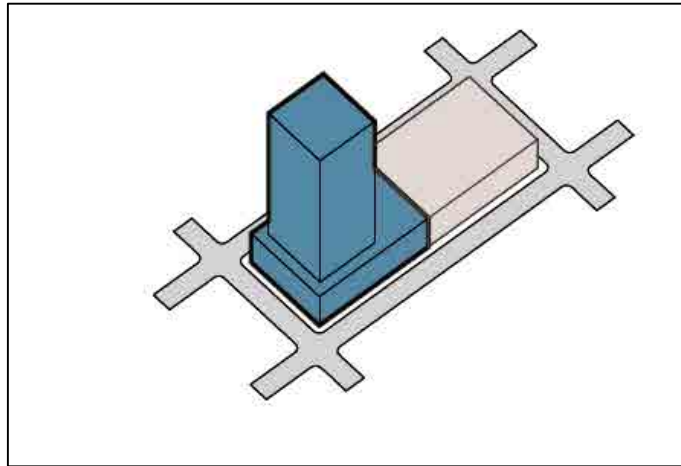


Figure 12: Restricting the minimum lot size to 1500m² for developments over 25 storeys allows greater opportunities to modulate podiums.

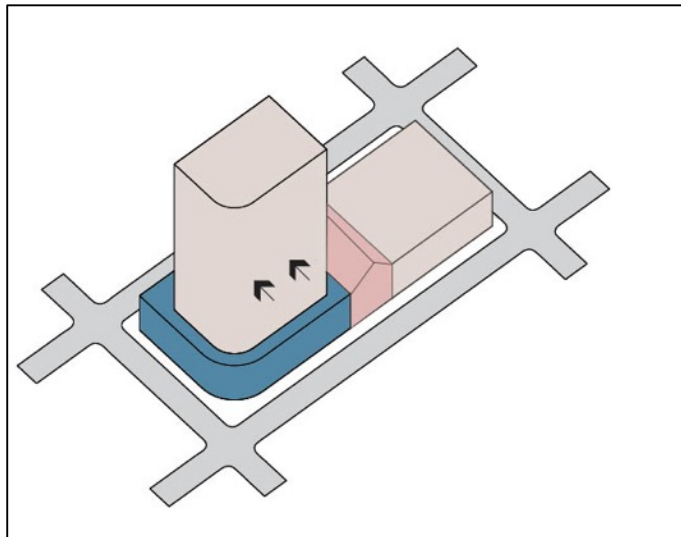


Figure 13: An above podium setback can be successfully incorporated into a tower without negatively impacting heritage items in the vicinity.

4.3 Transitions to Heritage Conservation Area

In the future, larger scale buildings may be proposed in proximity to low scale Heritage Conservation Areas.

Response

Density should generally reduce further from public transport hubs and adjacent to open spaces or significant sites, to create a transition of height and scale and minimise visual impact.

Where a proposed tall building is directly adjacent to a Heritage Conservation Area, it is desirable to create a transition between the building and adjacent Heritage Conservation Areas. This is normally achieved by the creation of a podium to the taller building, the height of which reflects the height of bulk and proportions of the adjacent item. Although there are no set rules to podium height in the context of many heritage items, it generally lies in the 2-3 storey height range, allowing for a transition by creating a lower street wall, thereby drawing attention away from the building mass above. The incorporation of a podium reduces the visual impact of the tower, which remains constant regardless of its height.

For example, the diagram below in Figure 14 illustrates how the creation of a podium creates a height transition between the lower scale heritage conservation areas and the podium which mitigates the impact of the height of the towers.

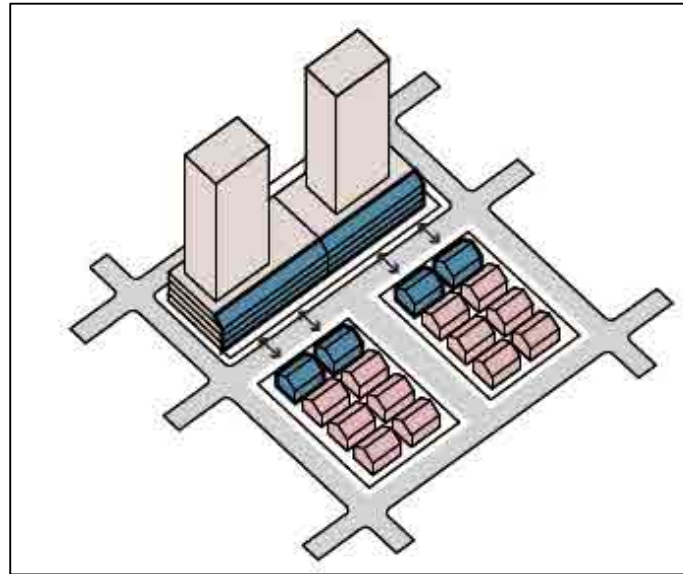


Figure 14: How a podium can respond to a height transition between a heritage conservation area and larger high density tower.

In a larger streetscape context of podiums, it is important to retain a consistent street wall height in areas which adjoin heritage conservation areas. This allows for visual consistency and limits the sense of enclosure of the surrounding streetscape. While a number of street wall heights are specified within the Precinct, generally the height and detailed design of a street wall should respond to the built form character of the area which can include heritage fabric. Traditionally, in more established urban centres, the street wall height is often defined by narrow fronted Victorian or Federation era terraces with parapet heights of approximately 10m. Due to the different development phases of the Precinct there is no homogenous building typology to derive a consistent street wall height from. Typically, street wall heights range from the 2-3 storeys allowing a 3-4 storey podium to fit comfortably into the streetscape. Podiums should also be articulated to respond to adjacent heritage items.

Within the Precinct there are a number of larger buildings, such as banks and hotels which define the street corners. New development within the vicinity of these buildings may derive its street wall height from these buildings. This can allow for greater street wall heights and creates an opportunity to develop a more distinctive identity through stronger spatial definition while still respecting the established height of the heritage items.

Figure 15 below shows how a continuous street wall height can be developed.

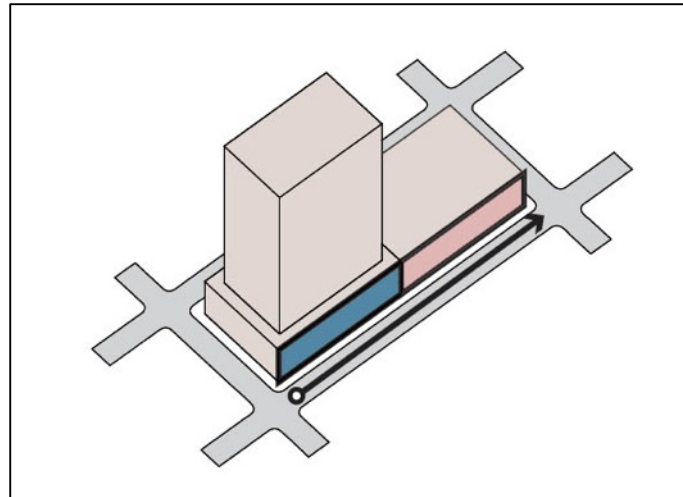


Figure 15: Keeping a consistent street wall height helps define the character of the area. This should be derived from surrounding heritage items if possible.

Where new development cannot be separated by the width of a street or lane, the development must respond appropriately to the surrounding context. Limiting the overall height, bulk and scale of new development is generally the only viable mitigation measure in this instance.

Figure 16 demonstrates that higher density development can occur in the vicinity of low scale heritage conservation areas if the proposed development responds appropriately to the scale of the surrounding Heritage Conservation Area.

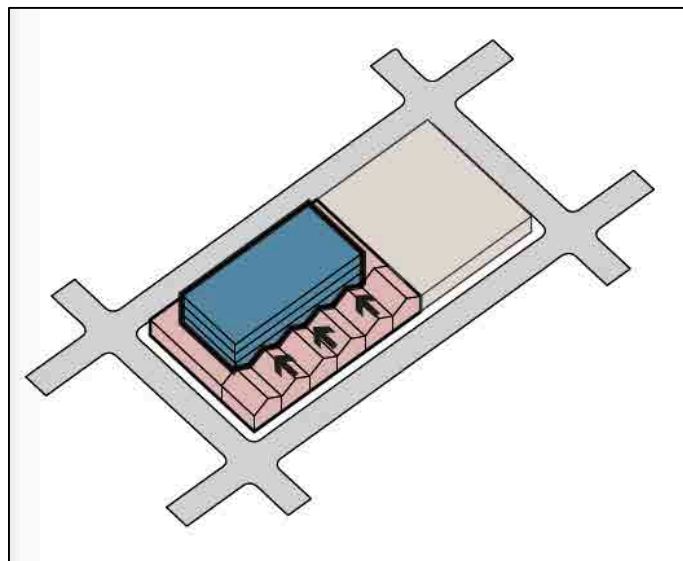


Figure 16: How development should respond to the surrounding height of a Heritage Conservation Area.

4.4 Respond to Fine Grain

Substantial uplift requires larger buildings that do not represent the human scale and therefore it is important to retain the finer grain aspect of the Precinct where possible.

Response

At ground level where there will be high levels of pedestrian traffic, it is important to preserve the fine grain of smaller tenancies. This is particularly important with older buildings (e.g. the Crows Nest Retail Group) which provide much of the existing character to the Precinct. This can help foster local distinctiveness; encourage design innovation and further architectural vernacular. As described above, podiums which respond to the existing street height, help to mitigate the impact of higher building mass

behind the podium by providing a human scale to the development.

In the case where there is an existing building that is to be retained, the finer street level grain can be preserved by setting the development behind the existing form of the finer grain buildings. This is particularly important along Willoughby Road, where a 'village-like' collection of eateries and small commercial tenancies have created an attractive town centre for the Precinct. See Figure 16 above for an example of the development type that may occur a block away from Willoughby Road to ensure that the character of the village is retained.

Figure 17 demonstrates how the fine grain of the street can be preserved whilst facilitating higher density development toward the rear of the site.

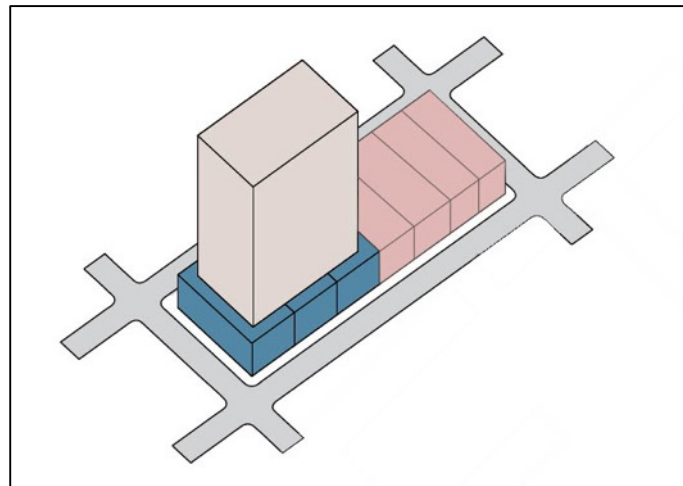


Figure 17: How development should respond to the surrounding height of a heritage conservation area or heritage items.

For example, a development may be set back behind a parapet and preserve the two front rooms of an existing Victorian Era shopfront. This way the original pattern of retail development as well as the most significant elements of the site remain intact and able to be understood whilst still facilitating a higher density development.

Any construction on top of the shops should be subject to setback provisions that maintain the consistency of the streetscape established by them. These provisions require careful consideration so as not to destroy the remnant two blocks of low-rise shop/residences, particularly as they are set between the Pacific Highway and Nicholson Place. This does not leave a great deal of depth once setback is taken into consideration.

4.5 Visual Impact

Any uplift and new development will have a visual impact on the heritage items and heritage conservation areas in the vicinity of the Precinct. The height, bulk and scale of large scale buildings is often difficult to mitigate through design alone.

Response

Utilising tree planting helps to mitigate the scale of change and also to partially screen adjacent large-scale development. While this type of mitigation is not possible in all areas of transition other mitigation measures can be undertaken.



Figure 18:
How
vegetation
can soften the
impact of
larger
development
in the
immediate
vicinity of
lower scale
Heritage
Conservation
Areas. Or
heritage
items.

Designing the new development and uplift with through site links to Heritage Conservation Areas will ensure that there is a degree of permeability between the new and old development. New development must not create a hard edge against the heritage conservation area. The interface should attract people into and activate both the new and old precincts. Through site links can also help activate potentially sterile and uninviting street frontages at the transition zone. These links should take cues from the existing pattern of streets.

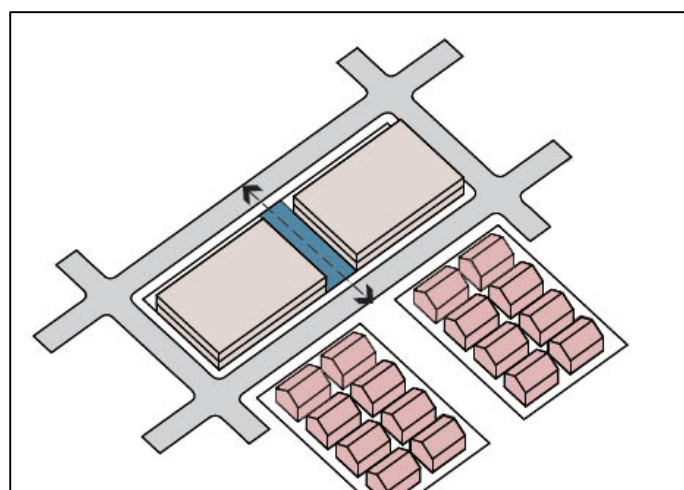


Figure 19: How
permeability
through
blocks can reduce
hard edge against the
Heritage
Conservation Area

4.6 Overshadowing

Preserving the solar amenity of heritage items and heritage conservation areas is an essential component in minimising the impact of the new larger scale development.

Response

Built form controls have considered overshadowing of critical open spaces and surrounding low density residential areas, ensuring future building envelopes do not create additional impact on Heritage Conservation Areas between the times of 9:00am – 3:00pm. It is critical that the amenity of dwellings located within Heritage Conservation Areas and heritage listed buildings is protected. If amenity is substantially reduced the desirability of properties will be eroded and thus the long term protection of the significant items and areas may be threatened.

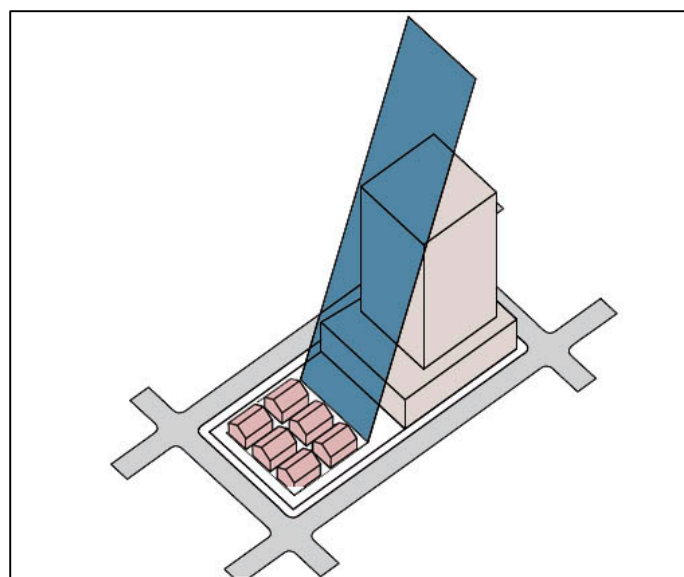


Figure 20: The uplift has been designed to minimise the solar impact on heritage conservation areas between key times.

4.7 View Corridors

The preservation of existing view corridors was also highlighted as a key component to be implemented. A number of key view corridors were identified during preliminary studies in Stage 1. Some of the view corridors identified include:

- The axial view corridors on streets such as Alexander Street and Willoughby Road.
- The curved Pacific Highway view corridor.
- The multiple view corridors extending from the 'Five Ways' Intersection.
- Views from existing housing to the rear of towers and podiums – avoiding expansive areas of blank facades etc . on the 4th elevation
- Views towards St Leonards and Crows Nest from further afar such as the Sydney CBD.

Response

Four to eight storey street walls are proposed along Pacific Highway between the proposed Crows Nest Metro and St Leonards Station. While two–four storey street walls are proposed along transition edges and low scale activity areas such as Chandos Street and Willoughby Road. This is to ensure future development responds to the fine grain form of the existing streetscape, while also being able to support commercial and retail activities that promote the character of the area. The street wall heights respond to the form and function of the areas and ensure future development is able to supply future commercial floor space.

The heritage items are concentrated in an area along the Pacific Highway between Shirley Road and Hume Street. They are bounded to the rear by Nicholson Lane. In all there are 19 individual heritage items along this stretch of road. They are predominantly two storey shop/residences of local heritage significance.

Special care should be taken to ensure that the street wall height between these buildings is maintained at the typical height of their parapets and that the rhythm of narrow fronted individual buildings is maintained in new development. Any development on the north west corner of Hume Street and Pacific Highway should form a transition from the two storey height of the heritage items opposite to full site development further along Pacific Highway.

In most situations, the front elevation of these heritage items is the part with the

greatest significance. Good heritage practice looks at the conservation of all significant elements of a heritage item but in the case of such buildings conservation may be permitted to be confined to the front elevation and the room/s directly behind.

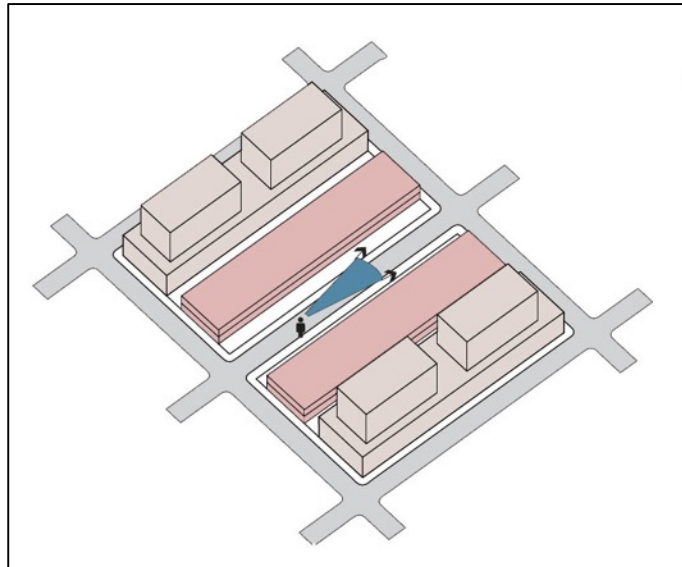


Figure 21: An example of how axial view corridors can be preserved by setting back development.



Figure 22: Heritage listed shop fronts along the Pacific Highway which contribute to the streetscape.

4.8 Urban Design Interface

Higher density development can impact upon the small scale pedestrian experience at street level, particularly where there is an interface with Heritage Conservation Areas.

Response

Small scale urban design responses can increase the amenity of the precinct at the interface between HCAs. This can help mitigate the impact at street level of the higher density development and ease the transition between the zones.

These include:

- Development should allow for contributions to be made to facilitate the relocation of electricity poles underground.
- Landscaping at street level can further reduce the visual impact and increase amenity.

-
- Planting of a 'green' edge to define the boundary of a commercial core.
 - Provision of parking controls (subject to Council approval) for residences to reduce overcrowding at street level in low population areas within the Heritage Conservations Areas.
 - Consider the location of substations and other services so that they are within new buildings and do not impact on residential amenity in Conservation Areas. Adopt screening or design elements to conceal these items from the public domain.

5.0 Conclusions and Recommendations


The Draft 2036 Plan has considered the heritage constraints and opportunities in the Precinct. The Plan has identified the statutory listings applicable to the site across the three LGAs.


At the peripheries of the Precinct are a number of Heritage Conservation Areas. The Plan has considered the impact that a significant uplift will have on these low scale, predominately residential areas and has developed mitigation measures, through design and planning to reduce the impact. Considerations include:

- The height of buildings and transitions to Heritage Conservation Areas.
- The visual impact of the proposed uplift.
- Ensuring view corridors are retained.
- Ensuring that solar amenity is preserved.
- Safeguarding existing individual heritage items against demolition and integrating the items into the proposed uplift.


The Plan has considered opportunities and challenges presented by wider planning strategies for the Precinct to consider how best to meet the needs of the projected future population of the area, whilst ensuring that existing character and heritage is preserved.

**1. APPENDIX 1 - INDIVIDUAL HERITAGE ITEMS AND INTERFACE
TREATMENTS FOR HERITAGE ITEMS /HCA**



Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
Crows Nest Holtermann Estate A 	<p>The following Statement of Significance has been sourced from the Thorp W. Conservation Area Studies. Holtermann Estate A, B, C, D and Lady Hay Estate (Crows Nest Road), North Sydney. 1998:</p> <p>‘The Holtermann A Conservation Area has associations with several figures significant in the development of the area but, principally, it demonstrates typical but important processes of subdivision and speculative development that occurred throughout the entire north shore during the later years of the nineteenth century and early years of the twentieth century. Less dominant, but also typical, are those houses of the Inter-War period. This is achieved by the retention of a large resource of substantially intact dwellings, streets and lanes and, to a much lesser degree, gardens, fences and out buildings. In style and scale the majority of residences provide a clear demonstration of the overwhelming residential nature of the area, the principal economic profile of its residents and the years in which it was developed; it helps to define the area as an "historic" precinct.</p> <p>The houses of the Holtermann A Conservation Area demonstrate a variety of styles and these contribute to the picturesque qualities of the area. The current popularity of large areas of substantially 'intact "historic" building stock and, generally, the care taken to maintain it demonstrates an appreciation by contemporary society for the aesthetic qualities produced by these variations. The difference evident in efforts to maintain the integrity of the principal dwelling in contrast to the loss or change permitted for</p>	<p>Character Area:</p> <p>Residential – Naremburn and Crows Nest.</p> <p>Proposed Works:</p> <p><i>Naremburn and Crows Nest areas are proposed to be retained for lower density residential development.</i></p> <p><i>There will be interfaces with heritage items between high density development in the St Leonards Centre and Crows Nest Metro Station character area.</i></p>	<p><i>The Holtermann Estate A and B Heritage Conservation Areas are predominately situated to the east of the proposed t uplift in the Precinct.</i></p> <p>Uplift and new development has the potential to result in visual impacts. This is particularly evident at the western boundary of the HCA along Zig Zag Lane, Ingram Lane, Albany Streets and Alexander Streets.</p> <p>Being situated to the east of the Precinct means some dwellings located on the boundary of the HCA will experience overshadowing during the late afternoon.</p> <p>The creation of a podium height of 2 to 3 storeys adjacent to the low scale interfaces along lanes will help mitigate the scale of the adjoining development as it will be relative to the existing 1 to 2 storey residential buildings.</p> <p>Where possible widen footpaths and plant trees along the lanes to help mitigate the impact of larger buildings.</p> <p>Establish street wall heights around 2 to 3 storeys to be relative to that of the 1 to 2 storey dwellings. In some instances, there may be larger corner buildings to draw reference from to facilitate a larger street wall height at this interface.</p> <p>Designing the new development and uplift with through site links to Heritage Conservation Areas will ensure that there is a degree of permeability between the existing</p>

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
	<p>elements such as gardens and fences is illustrative of a popular perception of what is necessary to define the "historic" character of a precinct. The addition of street trees as a strong visual element within the last forty years illustrates changing attitudes to civic amenity.'</p> <p>The estate also contains one locally listed heritage item however they have not been individually assessed.</p>		<p>and proposed development. New development must not create a hard edge against the Heritage Conservation Area. The interface should attract people into and activate both the new and old areas of the Precinct. Through site links can also help activate potentially sterile and uninviting street frontages at the transition zone</p>
<p>Holtermann Estate B</p> 	<p>The following Statement of Significance has been sourced from the Thorp W. Conservation Area Studies. Holtermann Estate A,B,C,D and Lady Hay Estate (Crows Nest Road), North Sydney. 1998:</p> <p>'The Holtermann B Conservation Area has associations with several figures significant in both this area and within the broader spectrum of state history. However, principally it demonstrates typical but important processes of subdivision and speculative development that occurred throughout the entire north shore during the later years of the nineteenth century and early years of the twentieth century. Less dominant, but also typical, are those houses of the Inter-War period. Significance is achieved by the retention of a large resource of substantially intact dwellings, streets and lanes and, to a much lesser degree, gardens, fences and out-buildings. In style and scale the majority of the residences provide a clear demonstration of the overwhelming residential nature of the district, the principal economic profile of the residents of that district and the years in which it was developed; it helps to define the area as an "historic" precinct.</p> <p>The houses of the Holtermann B Conservation</p>	<p>Character Area:</p> <p>Residential – Naremburn and Crows Nest.</p> <p>Proposed Works:</p> <p><i>Naremburn and Crows Nest areas are proposed to be retained for lower density residential development.</i></p> <p><i>There will be interfaces with heritage items between high density development in the St Leonards Centre and Crows Nest Metro Station character area.</i></p>	<p>See Above.</p>




Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
	<p>Area demonstrate a variety of styles and these contribute to the picturesque qualities of the area. The current popularity of large areas of substantially intact "historic" building stock and, generally, the care taken to maintain them demonstrates an appreciation by contemporary society for the aesthetic qualities produced by those variations. The difference evident in efforts to maintain the integrity of the principal dwellings in contrast to the loss or change permitted for elements such as gardens and fences is illustrative of a popular perception of what is necessary to define the "historic" character of a precinct. The addition of street trees as a strong visual element within the last forty years illustrates changing attitudes to civic amenity.</p> <p>The Holtermann B Conservation Area is representative rather than a rare sample of the historic development of North Sydney.'</p> <p>The area also contains a number of locally listed heritage items however they have not been individually assessed.</p>		

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
<p>Holtermann Estate C HCA</p> 	<p>The following Statement of Significance has been sourced from the Thorp W. Conservation Area Studies. Holtermann Estate A,B,C,D and Lady Hay Estate (Crows Nest Road), North Sydney. 1998:</p> <p>“The Holtermann C Conservation Area has associations with several figures significant in the area. However, principally it demonstrates typical but important processes of subdivision and speculative development that occurred throughout the entire north shore during the later years of the nineteenth century and early years of the twentieth century. Less dominant, but also typical, are those houses of the Inter-War period. This is achieved by the retention of a large resource of substantially intact dwellings, streets and lanes and, to a much lesser degree, gardens, fences and out-buildings. In style and scale the majority of the residences provide a clear demonstration of the overwhelming residential nature of the district, the principal economic profile of its residents and the years in which it was developed; it helps to define the area as an "historic" precinct.</p> <p>The houses of the Holtermann C Conservation Area demonstrate a variety of styles and these contribute to the picturesque qualities of the area. The current popularity of large areas of substantially intact "historic" building stock and, generally, the care taken to maintain it demonstrates an appreciation by contemporary society for the aesthetic qualities produced by these variations. The difference evident in efforts to maintain the integrity of the principal dwellings in contrast to the loss or change permitted for elements such as gardens and fences is illustrative of a popular perception of</p>	<p>Character Area:</p> <p>Residential – Naremburn and Crows Nest.</p> <p>Proposed Works:</p> <p><i>Naremburn and Crows Nest areas are proposed to be retained for lower density residential development.</i></p> <p><i>There will be interfaces with heritage items between high density development in the St Leonards Centre and Crows Nest Metro Station character area.</i></p>	<p><i>Holtermann Estate C and D are located to the south of the Falcon Street corridor. In future there may be potential for uplift in the future along this corridor.</i></p> <p>in the future, if development is proposed along the Falcon Street corridor The creation of a podium of 2 to 3 storeys along the southern side of the Falcon Street corridor is an appropriate response to the scale of the buildings within the HCA along Hayberry Lane. New development should not exceed 5 to 6 storeys due to its proximity to the HCA.</p> <p>Utilise tree planting along Alexander Lane and Hayberry Lane to help mitigate the scale change and also to partially screen adjacent large-scale development.</p>

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
	<p>what is necessary to define the "historic" character of the precinct. The addition of street trees as a strong visual element within the last forty years illustrates changing attitudes to civic amenity.</p> <p>The Holtermann C Conservation Area is a representative rather than rare sample of the historic development of North Sydney.'</p> <p>The estate also contains a number of heritage items however they have not been individually assessed.</p>		



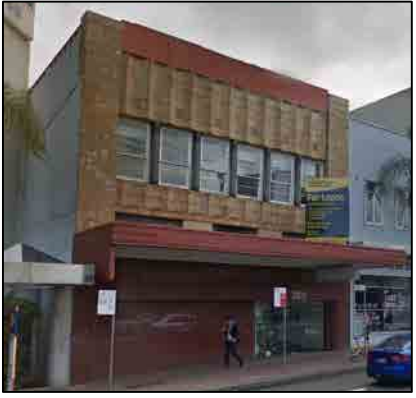
Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
<p>Crows Nest Hotel 1-3 Willoughby Road, Crows Nest</p>  	<p>The State Heritage Inventory provides the following Statement of Significance for the <i>Crows Nest Hotel</i>, (I0181):</p> <p>'Interesting large urban Edwardian hotel on an important intersection which has buildings similar in materials, form, style and period on each corner. A good example of the Free Classical Style from the early twentieth century, it has powerfully detailed elevations with Egyptians motifs set on a prominent corner site. It is an important local hotel.'⁷</p>	<p>Character Area: Crows Nest Village</p> <p>Proposed works:</p> <p><i>Crows Nest Village is proposed to be retained in its current form to protect the fine grain scale of the residential and retail area.</i></p>	<p>Crows Nest Village contains a number of heritage items considered significant to the surrounding area. While the DRAFT 2036 PLAN does not propose to change planning controls here, the existing LEP allows for development behind the existing two-storey shops, some of which are locally heritage listed. There is a potential for development to encroach on the fine-grain village atmosphere of the Crows Nest Village.</p> <p>There is also potential for the 'Five-Ways' (Willoughby Road, Falcon Street, Pacific Highway and Shirley Road) intersection, which contains several key local heritage items, to lose its prominence if the height of new buildings around it is not properly managed.</p> <p>The landmark qualities as a stand-alone structure of the Crows Nest Hotel should be preserved adjacent to the 'Five Ways' intersection.</p>



⁷ *Crows Nest Hotel*, 1-3 Willoughby Road, Crows Nest. State Heritage Inventory Database No.: 2181004.

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
<p>Former Bank No. 306 Pacific Highway, Crows Nest <i>North Sydney Local Environmental Plan 2013</i>. Heritage Item No. I0151</p>  	<p>The State Heritage Inventory provides the following Statement of Significance for this item:</p> <p>'Excellent example of the Inter-war revival of Georgian architecture in a commercial building. Prominent streetscape item and part of a five-way intersection dominated by buildings of a similar form, scale, materials and period.'⁸</p>	<p>Character Area: Crows Nest Village</p> <p>Proposed works:</p> <p><i>Crows Nest Village is proposed to be retained in its current form to protect the fine grain scale of the residential and retail area.</i></p>	<p>Both the <i>Bank</i> at 306 Pacific Highway, Crows Nest and the <i>Former National Australia Bank</i> at 308 Pacific Highway, Crows Nest are recognised as being at a key intersection within the Precinct and the character of the area should be preserved. Any development proposed to be above the heritage items should respond to the chamfered corners at the intersection of the Pacific Highway and Shirley Road and incorporate a setback.</p>
<p>Former National Australia Bank 308 Pacific Highway, Crows Nest <i>North Sydney Local Environmental Plan 2013</i>. Heritage Item No. I0152</p> 	<p>The State Heritage Inventory provides the following Statement of Significance for this item:</p> <p>'An example of a two storey rendered masonry commercial building on a prominent corner site with plainly detailed elevations. An important streetscape item as a part of a major intersection with a cohesive group of interwar commercial buildings on each corner. Of the five corner buildings, this is the earliest, though it has had it's characteristic detailing modified. Continuous use as a bank since construction.'⁹</p>	<p>Character Area: Crows Nest Village</p> <p>Proposed works:</p> <p><i>Crows Nest Village is proposed to be retained in its current form to protect the fine grain scale of the residential and retail area.</i></p>	<p>See above.</p>



⁸ *Bank*, 306 Pacific Highway, Crows Nest. State Heritage Inventory Database No.: 2180896.

⁹ *Former National Australia Bank*, 308 Pacific Highway, Crows Nest. State Heritage Inventory Database No.: 2181003.

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
			
<p>Former North Shore Gas Co office 286-288 Pacific Highway, Crows Nest <i>North Sydney Local Environmental Plan 2013</i>. Heritage Item No. I0151</p>  	<p>The State Heritage Inventory provides the following description for this item:</p> <p>Excellent and unusual Interwar Art Deco shop building with striking scalloped facade clad in glazed terracotta. A fine example of the style which originally opened as the local gas company office/showroom, the modernity of the style being appropriate to the products displayed therein. Part of a traditional retail streetscape.</p>	<p>Character Area:</p> <p>Pacific Highway Corridor</p> <p>Proposed Works:</p> <p><i>The Pacific Highway Corridor is proposed to be an activated, high density mixed use corridor with a key focus on employment.</i></p>	<p>There is potential for overshadowing and direct physical impact from higher density development to the rear of the site at the <i>Former North Shore Gas Co office</i>.</p> <p>Note – The site is already subject to a planning proposal for a high density development.</p> <p>Any development to the rear should be set back from the principal elevation that comprises a glazed terracotta scalloped façade. A setback will ensure that the building's prominence is retained along the Pacific Highway.</p>

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
<p>Willoughby House, former O.J. Williams Store 429 Pacific Highway, Crows Nest <i>North Sydney Local Environmental Plan 2013</i>. Heritage Item No. I0172</p>  	<p>The State Heritage Inventory provides the following Statement of Significance for this item:</p> <p>'Dramatic and imposing commercial building on an important corner of a major intersection which is characterised by buildings of similar period and materials. A fine example of the Interwar Functionalist style and an early example of a large regional department store. It is the work of T.D. Esplin.'¹⁰</p>	<p>Character Area: Crows Nest Village</p> <p>Proposed works:</p> <p><i>Crows Nest Village is proposed to be retained in its current form to protect the fine grain scale of the residential and retail area.</i></p>	<p>Larger development is proposed to the north of <i>Willoughby House, former O.J. Williams Store</i> (429 Pacific Highway, Crows Nest) along the Pacific Highway corridor. The proposed strategy allows for a stepped transition to higher density development to the north along Pacific Highway. Any proposed massing should be separated to not impact on the curved profile of the site.</p>
<p>Crows Nest Retail Group 312 - 324, 326, 330 - 338 Pacific Highway, Crows Nest <i>North Sydney Local Environmental Plan 2013</i>. Heritage Item Nos. I0153 – I0164.</p>	<p>The State Heritage Inventory provides the following Statement of Significance for this item:</p> <p>No. 312 – No. 324 Pacific Highway: 'A good and well detailed example of a two storey, rendered masonry commercial building with residences to the first floor that was built as a row of seven and that forms a streetscape of</p>	<p>Character Area: Pacific Highway Corridor</p> <p>Proposed Works:</p> <p><i>The Pacific Highway Corridor is proposed to be an activated, high density mixed use corridor with a</i></p>	<p>The small scale narrow street frontages of both the <i>Crows Nest Retail Group</i> and the <i>Higgins Buildings</i> fronting the Pacific Highway are at risk of direct physical impact by development to these and adjacent sites.</p> <p>The view corridors along this section of the Pacific Highway are at risk of being overwhelmed by high density development</p>



¹⁰ Willoughby House, former O.J. Williams Store, 429 Pacific Highway, Crows Nest. State Heritage Inventory Database No.: 2180956.

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
 	<p>high quality.’¹¹</p> <p>No. 326 Pacific Highway: ‘A good example of a two storey, rendered masonry commercial building in the Inter War Functionalist style with interesting and simple Art Deco detailing. Rare survivor of this style from this period.’¹²</p> <p>No. 330 – 338 Pacific Highway: ‘A rare example of a two storey, brick and rendered masonry commercial building in the Federation Free style with unusual Art Nouveau decoration to the upper facade.’¹³</p>	<p><i>key focus on employment.</i></p>	<p>close to the street front property boundaries.</p> <p>The front elevation of the <i>Crows Nest Retail Group</i> and the <i>Higgins Buildings</i> retail group is the part with the greatest significance. Any construction on top of the shops should be subject to setback provisions that maintain the consistency of the streetscape established by them. These provisions require careful consideration so as not to destroy the remnant two blocks of low-rise shop/residences, particularly as they are set between Pacific Highway and Nicholson Place. This does not leave a great deal of depth once setback is taken into consideration.</p> <p>For example, a development may be set back behind a parapet and preserve the front rooms of an existing Federation era shopfront. This way an understanding of the original pattern of retail development is retained along with the most significant elements of the site whilst still facilitating higher density development.</p>



¹¹ Shop, 312 - 324 Pacific Highway, Crows Nest. State Heritage Inventory Database No.: 2180998, 2181747, 2181748, 2181749, 2181750, 2181751.

¹² Shop, 326 Pacific Highway, Crows Nest. State Heritage Inventory Database No.: 2180999.

¹³ Shop, 330 - 338 Pacific Highway, Crows Nest. State Heritage Inventory Database No.: 2181000, 2181752, 2181753, 2181754, 2181001.




Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
<p>Higgins Buildings Group 366 – 374 Pacific Highway, Crows Nest <i>North Sydney Local Environmental Plan 2013</i>. Heritage Item Nos. I0166 – I0171</p>  	<p>The State Heritage Inventory provides the following Statement of Significance for this item:</p> <p>‘A good example of an Interwar Free Classical brick and masonry commercial/retail building housing a group of shops which occupies an important corner location and which complements and reflects the type of development characteristic of this streetscape.’¹⁴</p>	<p>Character Area:</p> <p>Pacific Highway Corridor</p> <p>Proposed Works:</p> <p><i>The Pacific Highway Corridor is proposed to be an activated, high density mixed use corridor with a key focus on employment.</i></p>	<p>See above.</p>
<p>North Sydney Girls High School No. 365 Pacific Highway, Crows Nest <i>North Sydney Local Environmental Plan 2013</i>. Heritage Item No. I0165.</p>	<p>The State Heritage Inventory provides the following Statement of Significance for this item:</p> <p>‘Important local school with significant place in the historical development of public education on the North Shore. Substantial and relatively intact original building from establishment of the school. Local and regional significance for former and current pupils and staff. Buildings are representative of period school architecture and</p>	<p>Character Area:</p> <p>Health and Education</p> <p>Proposed Works:</p> <p><i>The Health and Education character area is proposed to be retained for uses associated with health and education industries building on the vision for a ‘health</i></p>	<p>Due to an increased population density there may be a requirement in the future for the <i>North Sydney Girls High School</i> to develop the site further.</p> <p>A Conservation Management Plan should be developed for the entire school site to consider the potential future strategies.</p>




¹⁴ Higgins Group, 366 Pacific Highway, Crows Nest. State Heritage Inventory Database No.: 2181002.

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
 	<p>philosophy.’¹⁵</p>	<p><i>and education super precinct’.</i></p>	
<p>Former Hall 14 Hayberry Street, Crows Nest North Sydney Local Environmental Plan 2013. Heritage Item No. I0144</p>	<p>The State Heritage Inventory provides the following Statement of Significance for this item:</p> <p>‘Good example of a Federation Free Classical styled hall, well proportioned and neatly detailed, on an important fringe of the Crows Nest commercial centre. The interior is also of significance.’¹⁶</p>	<p>Character Area:</p> <p>Residential – Naremburn and Crows Nest.</p> <p>Proposed Works:</p> <p><i>Naremburn and Crows Nest areas are proposed to be retained for lower density residential development.</i></p>	<p>Proposed development in the vicinity of both the <i>Former Hall</i> (14 Hayberry Street) and the <i>Former Church of Christ</i> (69 Falcon Street) may impact on the setting of the buildings which are both prominent buildings in a largely residential area.</p> <p>The front setback of the extant buildings should be replicated in any adjacent development in order to preserve view corridors along Falcon Street and Hayberry Streets.</p>



¹⁵ North Sydney Girls’ High School, 365 Pacific Highway, Crows Nest. State Heritage Inventory Database No.: 2180899.

¹⁶ Former hall, 14 Hayberry Street, Crows Nest. State Heritage Inventory Database No.: 2181010.

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
 		<p><i>There will be interfaces with heritage items between high density development in the St Leonards Centre and Crows Nest Metro Station character area.</i></p>	
<p>Former Church of Christ 69 Falcon Street, Crows Nest North Sydney Local Environmental Plan 2013. Heritage Item No. I0143</p> 	<p>The State Heritage Inventory provides the following Statement of Significance for the item:</p> <p>‘Interesting example of an inter-war small church for a minority christian group. Contrasts the buildings and churches of the mainstream christian groups and important reminder of the diversity of beliefs present throughout the area’s development. Provides evidence of the size, philosophy and activity of the church and its adherants. An interesting example of a two storey brick church in the Inter War Gothic style that has been built on a residential subdivision for a minority church. The interior is also of significance as the main volume of the church is still evident although having been adapted for</p>	<p>Character Area:</p> <p>Residential – Naremburn and Crows Nest.</p> <p>Proposed Works:</p> <p><i>Naremburn and Crows Nest areas are proposed to be retained for lower density residential development.</i></p> <p><i>There will be interfaces with heritage items between high density development in the St Leonards Centre and Crows Nest Metro Station character area.</i></p>	<p>See above.</p>

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
	<p>residential use.¹⁷</p>		
<p>Northside Baptist Church 63 Willoughby Road, Crows Nest <i>North Sydney Local Environmental Plan 2013</i>. Heritage Item No. I0182</p>  	<p>The State Heritage Inventory provides the following Statement of Significance for the item:</p> <p>‘Important local church which is a fine example of the Federation Gothic style, in important central location in Crows Nest.’</p>	<p>Character Area: Crows Nest Village</p> <p>Proposed works:</p> <p><i>Crows Nest Village is proposed to be retained in its current form to protect the fine grain scale of the residential and retail area.</i></p>	<p><i>Northside Baptist Church</i> at 63 Willoughby Road, Crows Nest is potential for overshadowing because of new buildings permitted in existing LEP controls the east of the site. The public square and small park to either side of the church should be retained to preserve the curtilage around the site. Setback controls should be developed to ensure the site receives adequate solar access so that amenity is preserved. Street trees should also be retained to screen surrounding development from the site.</p>



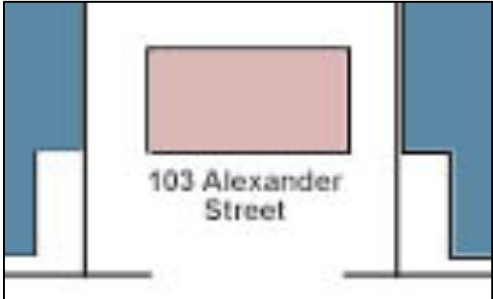
¹⁷ Former Church of Christ, 69 Falcon Street, Crows Nest. State Heritage Inventory Database No.: 2181008.

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
<p>Crows Nest Performing Arts Centre, Uniting Church Hall and Uniting Church Parsonage 6-10 Holtermann Street, Crows Nest North Sydney Local Environmental Plan 2013. Heritage Item No. I0146-I0148</p>  	<p>The State Heritage Inventory provides the following Statement of Significance for this item:</p> <p>Crows Nest Performing Arts Centre: 'Important local church which is a fine example of the Federation Gothic style. Interesting contrasts to adjacent earlier church building.'¹⁸</p> <p>Uniting Church Hall: 'Rare survival locally of a small scale church from the 1880's. Plain and simply detailed, it provides interesting contrasts with later church building adjacent.'¹⁹</p> <p>Uniting Church Parsonage: 'Interesting late nineteenth century Italianate villa mostly important as the permanent manse of the adjacent church.'²⁰</p>	<p>Character Area: Crows Nest Village</p> <p>Proposed works:</p> <p><i>Crows Nest Village is proposed to be retained in its current form to protect the fine grain scale of the residential and retail area.</i></p>	<p><i>Crows Nest Performing Arts Centre, Uniting Church Hall and Uniting Church Parsonage at 6-10 Holtermann Street, Crows Nest may lose their prominence in the Holtermann Street Streetscape due to development surrounding the site on all sides. Consider increased activation of site to the rear to ensure buildings continue to be used and appreciated. Designing the new development and uplift with through site links to heritage items will ensure that there is a degree of permeability between the existing and proposed.</i></p>



¹⁸ Crows Nest Performing Arts Centre, 6 Holtermann Street, Crows Nest. State Heritage Inventory Database No.: 2180958.

¹⁹ Uniting Church hall, 8 Holtermann Street, Crows Nest. State Heritage Inventory Database No.: 2180959.



²⁰ Uniting Church parsonage, 10 Holtermann Street, Crows Nest. State Heritage Inventory Database No.: 2180960.

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
<p>House 103 Alexander Street, Crows Nest <i>North Sydney Local Environmental Plan 2013</i>. Heritage Item No. I0139</p>  	<p>The State Heritage Inventory provides the following Statement of Significance for the site:</p> <p>'Fine late nineteenth century stone house, probably one of the 'better' homes in this area in the time in which it was built. It is a rare survivor in an area of later commercial buildings. Exterior and interior are of significance. Important as part of the range of nineteenth century residential buildings in Crows Nest.'²¹</p>	<p>Character Area: Crows Nest Village</p> <p>Proposed works:</p> <p><i>Crows Nest Village is proposed to be retained in its current form to protect the fine grain scale of the residential and retail area.</i></p>	<p>House at 103 Alexander Street, Crows Nest is already surrounded by higher density development on adjoining sites that has resulted in a loss of setting for the item. There is a risk that the integrity of the single storey dwelling, located within a commercial centre, will be further diminished by additional development. If new developments are to occur to either side of the site, better setbacks should be developed to ensure the site is understood as a single storey former residence. The front boundary wall of the site should also be removed to allow for the primary elevation to be viewed.</p>  <p>Figure 1: Shows how potential future development could respond to the 103 Alexander Street to allow for the appropriate curtilage</p>




²¹ House, 103 Alexander Street, Crows Nest. State Heritage Inventory Database No.: 2180962.

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
<p>Electricity Power House 23 Albany Street, Crows Nest <i>North Sydney Local Environmental Plan 2013</i>. Heritage Item No. I0137.</p> <p><u>State Heritage Register No. 00931</u></p>  	<p>The State Heritage Inventory provides the following Statement of Significance for the site:</p> <p>'The Crows Nest substation is a rare and representative example of an unusual building design from the interwar period which features mansard roof corners to the main roof, decorative rendered walls with recessed bays and elongated arches to the facades. It is considered to be of state significance.'²²</p>	<p>Character Area:</p> <p>St Leonards and Crows Nest Metro Station.</p> <p>Proposed works:</p> <p><i>The St Leonards Commercial Core and Crows Nest Metro Station area is proposed to be a true high density centre that ensures the Precinct strengthens its role as a major commercial centre in Sydney.</i></p> <p><i>High density commercial, mixed use and residential to be concentrated in land extending from The Forum along Pacific Highway towards the proposed Crows Nest Metro Station. This way sites can utilise close proximity to public transport and existing density to provide additional residential and commercial floor space for the centre.</i></p>	<p><i>Electricity Power House, 23 Albany Street, Crows Nest</i> is one of two sites within the Precinct listed on the State Heritage Register. Therefore, it is imperative that an appropriate podium height and transition of adjacent development in the vicinity on the of the item be carefully considered and an appropriate curtilage is established.</p> <p>A Conservation Management Plan (CMP) for the site should be produced, to include recommendations for development in the vicinity of the, in conjunction with any future development proposals. This will help to mitigate the heritage impact of development and manage any potential adaptive reuse of the site.</p> <p>There is an opportunity to feature the building from the expanded Hume Street Park if Council's plans to underground or move the existing basketball courts are realised. Subject to the relevant statutory approval.</p>

²² Electricity Power House, 23 Albany Street, Crows Nest. State Heritage Inventory Database No.: 5045630.



Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
<p>St Leonards Centre 28-34 Clarke Street, Crows Nest <i>North Sydney Local Environmental Plan 2013</i>. Heritage Item No. I0141</p>  	<p>The State Heritage Inventory provides the following Statement of Significance for the site:</p> <p>'28 Clarke Street is an unusual example of a six storey, late Twentieth Century commercial building built c. 1972 designed by Kerr and Smith, Architects and Planners, in the late Twentieth Century Brutalist style and is a dominant building in the local streetscape.'²³</p>	<p>Character Area:</p> <p>St Leonards and Crows Nest Metro Station.</p> <p>Proposed works:</p> <p><i>The St Leonards Commercial Core and Crows Nest Metro Station area is proposed to be a true high density centre that ensures the Precinct strengthens its role as a major commercial centre in Sydney.</i></p> <p><i>High density commercial, mixed use and residential to be concentrated in land extending from The Forum along Pacific Highway towards the proposed Crows Nest Metro Station. This way sites can utilise close proximity to public transport and existing density to provide additional residential and commercial floor space for the centre.</i></p>	<p>The <i>St Leonards Centre</i> at 28-34 Clarke Street, Crows Nest is one of the larger buildings in the vicinity of St Leonards Station. The sites should be retained as commercial towers and be integrated into the Precinct. Any tower in the vicinity should have adequate separation between the items to ensure they remain distinguishable as freestanding Brutalist commercial towers.</p>
<p>Crows Nest Fire Station 99 Shirley Road, Crows Nest <i>North Sydney Local Environmental Plan 2013</i>. Heritage Item No. I0173</p>	<p>The State Heritage Inventory provides the following Statement of Significance for this item:</p> <p>'Important district fire station. One of the last fire stations to be built to the design of the Government Architect and one of a group of fire stations of similar architectural style and arrangement. A fine example of the Arts and</p>	<p>Character Area:</p> <p>Wollstonecraft Residential</p> <p>Proposed Works:</p> <p><i>Wollstonecraft is proposed to be retained as medium to high density residential set within a</i></p>	<p>The proposed uplift in the vicinity of the site will result in a change in setting to the heritage items within the Wollstonecraft residential area.</p> <p><i>Crows Nest Fire Station</i> is a prominent building along Shirley Road, marking the boundary between the residential area of Wollstonecraft and the commercial area of</p>

²³ St Leonards Centre, 28 – 34 Clarke Street, Crows Nest. State Heritage Inventory Database No.: 2181335.




Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
 	<p>Crafts style in a public utility context.²⁴</p>	<p><i>landscaped setting.</i></p>	<p>Crows Nest. New buildings that are adjacent or within the vicinity should establish a consistent podium height in relation to the height of the parapet so as to present a consistent low scale and fine grain street frontage.</p> <p>In future, due to an increase in population size, the requirements of the <i>Crows Nest Fire Station</i> may not be suitable for the site. This may result in the potential adaptive reuse of the site for other purposes. Any such development should be assessed on its individual merits, however, the overall form should remain readily identifiable.</p>
<p>St Thomas' Rest Park West Street, Crows Nest <i>North Sydney Local Environmental Plan 2013. Heritage Item No. I0180</i></p> 	<p>The State Heritage Inventory provides the following Statement of Significance for this item:²⁵</p> <p>'Important local cemetery and repository of the remains of many famous colonial identities, among which are several pioneers of the North Shore. Remaining graves and monuments, the gates and fence to West Street and to Sexton's cottage are important historic remnants of the original cemetery (now a Rest Park). The interior of the cottage is in original condition and is of significance.'</p>	<p>Character Area:</p> <p>Residential – Naremburn and Crows Nest.</p> <p>Proposed Works:</p> <p><i>Naremburn and Crows Nest areas are proposed to be retained for lower density residential development.</i></p> <p><i>There will be interfaces with heritage items between high density development in the</i></p>	<p>St Thomas Memorial Rest Park should be conserved and retained for its current use. As the site is listed on the periphery of the precinct it is unlikely to experience overshadowing or impact on view corridors. Like the Gore Hill Memorial Cemetery, new ways to interpret or increase the pedestrian experience should be explored for one of the few passive green spaces in the precinct.</p>

²⁴ *Crows Nest Fire Station*, 99 Shirley Road, Crows Nest. State Heritage Inventory Database No.: 2180895.

²⁵ St Thomas' Rest Park (including Sexton's Cottage and cemetery fence), West Street, Crows Nest. State Heritage Inventory Database No.:2180894



Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
		<i>St Leonards Centre and Crows Nest Metro Station character area.</i>	
Wollstonecraft			
<p>Crows Nest Uniting Church 122 Shirley Road, Wollstonecraft <i>North Sydney Local Environmental Plan 2013. Heritage Item No. I1114</i></p> 	<p>The State Heritage Inventory provides the following Statement of Significance for this item:</p> <p>'Significant local church in original condition. Interesting interpretation of the Gothic idiom from the Federation period. The interior is also of significance.'²⁶</p>	<p>Character Area:</p> <p>Wollstonecraft Residential</p> <p>Proposed Works:</p> <p><i>Wollstonecraft is proposed to be retained as medium to high density residential set within a landscaped setting.</i></p>	<p><i>Crows Nest Uniting Church</i> is at risk of overshadowing from nearby higher density development in the morning hours.</p> <p>The existing curtilage around the site should be retained to preserve the overall form of the church. The church should be conserved and continue use for religious purposes. Other adaptive reuses may be considered if the building form is conserved.</p>

²⁶ *Crows Nest Uniting Church*, 122 Shirley Road, Wollstonecraft. State Heritage Inventory Database No.: 2180888.



Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
			
<p>House 2 Nicholson Street, Wollstonecraft²⁷ <i>North Sydney Local Environmental Plan 2013</i>. Heritage Item No. I11106</p>  	<p>The State Heritage Inventory provides the following Statement of Significance for this item:</p> <p>'An excellent, and relatively intact, example of a large, Federation Queen Anne bungalow in its setting on a prominent corner site with good quality detailing, with complementary facades to each frontage. Strong relationship to the neighbouring No. 11 Lamont Street. It exemplifies many of the finer qualities of the style.'²⁸</p>	<p>Character Area:</p> <p>Wollstonecraft Residential</p> <p>Proposed Works:</p> <p><i>Wollstonecraft is proposed to be retained as medium to high density residential set within a landscaped setting.</i></p>	<p>Like the Crows Nest Uniting Church this <i>House</i> (Federation Queen Anne style dwelling) will experience overshadowing from nearby high density development. The dwelling should be conserved and continue use as a residential dwelling. Other adaptive reuses may be considered if the building form is conserved.</p>

²⁷ Image source: Onthefhouse.com.au. N. p., 2018. Web. 31 Jan. 2018.

²⁸ *House*, 2 Nicholson Street, Wollstonecraft. State Heritage Inventory Database No.: 2180974.



Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
St Leonards Former Marco Building 583 Pacific Highway, St Leonards <i>North Sydney Local Environmental Plan 2013. Heritage Item No. I1034</i>  	<p>The State Heritage Inventory provides the following Statement of Significance for the site:</p> <p>'Excellent and attractive example of the Interwar Functionalist style on a prominent corner site.'²⁹</p>	<p>Character Area:</p> <p>St Leonards and Crows Nest Metro Station.</p> <p>Proposed works:</p> <p><i>The St Leonards Commercial Core and Crows Nest Metro Station area is proposed to be a true high density centre that ensures the Precinct strengthens its role as a major commercial centre in Sydney.</i></p> <p><i>High density commercial, mixed use and residential to be concentrated in land extending from The Forum along Pacific Highway towards the proposed Crows Nest Metro Station. This way sites can utilise close proximity to public transport and existing density to provide additional residential and commercial floor space for the centre.</i></p>	<p>The St Leonards and Crows Nest Metro Station Character Area are key sites in the Precinct in relation to potential future uplift. This may result in the need for larger buildings to be developed in the immediate vicinity of heritage listed sites or in some cases on sites which contain heritage items.</p> <p>Any development on a site containing a heritage item should respond to the existing site conditions. For example, the <i>former Marco Building</i> at 583 Pacific Highway, St Leonards is recognised as being at a key intersection within the Precinct where the height of buildings is a priority. Any development on the site should respond to the chamfered corner at the intersection of the Pacific Highway and Albany Street. The building form, the podium and any tower should reflect the context of the location in terms on the corner.</p>
Commercial Building 1 Chandos Street, St Leonards <i>North Sydney Local Environmental Plan 2013. Heritage Item No. I1033</i>	<p>The State Heritage Inventory provides the following Statement of Significance for the site:</p> <p>'A prime example of a dramatic system of construction which incidentally forms an impressive office block. It is an impressive example of the late twentieth century</p>	<p>Character Area:</p> <p>St Leonards and Crows Nest Metro Station.</p> <p>Proposed works:</p>	<p>Commercial Building, 1 Chandos Street, St Leonards is one of the larger buildings in the vicinity of St Leonards Station. The sites should be retained as commercial towers and be integrated into the Precinct. Any tower in the vicinity should have adequate separation between the items to ensure they remain</p>




²⁹ Former Marco Building, 583 Pacific Highway, St Leonards. State Heritage Inventory Database No.: 2180900.

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
 	<p>structuralist space. It is a seven storey commercial building built in 1977 in late twentieth century, it is Brutalist Style with a dominant setting to the street corner. An impressive example of the lift slab and climbing formwork construction.³⁰</p>	<p><i>The St Leonards Commercial Core and Crows Nest Metro Station area is proposed to be a true high density centre that ensures the Precinct strengthens its role as a major commercial centre in Sydney.</i></p> <p><i>High density commercial, mixed use and residential to be concentrated in land extending from The Forum along Pacific Highway towards the proposed Crows Nest Metro Station. This way sites can utilise close proximity to public transport and existing density to provide additional residential and commercial floor space for the centre.</i></p>	<p>distinguishable as freestanding Brutalist commercial towers.</p>
<p>Royal North Shore Hospital Buildings Royal North Shore Hospital, Reserve Road, St Leonards <i>Willoughby Local Environmental Plan 2012</i>. Heritage Item Nos. I240 – I244</p>	<p>The State Heritage Inventory provides the following Statement of Significance for the site:</p> <p>‘The Core Hospital Precinct Group is an important, and increasing rare, surviving example of early twentieth century Federation hospital architecture and design.’³¹</p>	<p>Character Area:</p> <p>Health and Education</p> <p>Proposed Works:</p> <p><i>The Health and Education character area is proposed to be retained for uses associated with health and education industries building on the vision for a ‘health and education super precinct’.</i></p>	<p>The <i>Royal North Shore Hospital Buildings</i> (RNSH) will continue to expand as the population grows. This means low scale, largely redundant original buildings associated with original hospital are at risk of being demolished to meet the demand for new health services.</p> <p>The original buildings associated with the core hospital precinct should be integrated into any new development. Where possible, transition zones between these buildings, particularly appropriate podium heights</p>

³⁰ Commercial building, 1 Chandos Street, St Leonards. State Heritage Inventory Database No.: 2181328.


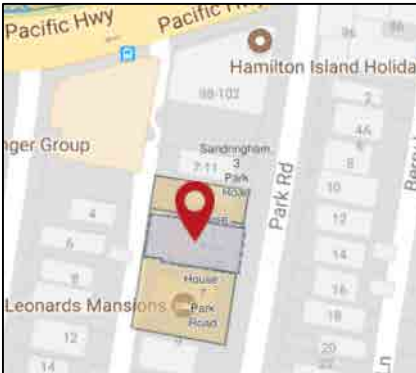
³¹ Orthotics Building(including original interiors), Royal North Shore Hospital, Reserve Road, St Leonards. State Heritage Inventory Database No.: 2660307.

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
 			<p>should be developed.</p> <p>Refer to the RNSH Master Plan for further clarification.</p>
<p>Gore Hill Memorial Cemetery 211 Pacific Highway, St Leonards</p> <p><i>Willoughby Local Environmental Plan 2012. Heritage Item No. I148</i></p> <p><u>State Heritage Register No. I0191</u></p>	<p>The State Heritage Inventory provides the following Statement of Significance for the site:</p> <p>'Gore Hill Memorial Cemetery is an item of state significance that satisfies all seven assessment criterion for listing. Its aesthetic design and historical associations have made it a significant place in the pattern of the cultural history of NSW. Its monuments and landscape demonstrate the religious philosophies and changing attitudes towards death over a 100 year period of NSW history. Aesthetically, it is an excellent example of a late Victorian landscaped burial ground with landmark qualities, important plantings and a wealth of high quality funerary architecture which demonstrates the skills of the artisans who</p>	<p>Character Area:</p> <p>Gore Hill Oval & Cemetery</p> <p>Proposed Works</p> <p><i>The Gore Hill Oval is proposed to be retained and improved for recreational uses to support residents and workers in the Precinct.</i></p> <p><i>The Gore Hill Cemetery will continue to be used as a cemetery. Increased activation and through site links are being explored.</i></p>	<p>The facilities required to meet the needs of the increased population surrounding the open space of the Gore Hill Oval may potentially impact on the significance of the <i>Gore Hill Memorial Cemetery</i>.</p> <p>As the Gore Hill Memorial Cemetery is one of the few large green passive spaces within the Precinct, better landscaping of the cemetery and surrounds should be developed to encourage pedestrian usage of the site. This can include improvements to the connections/pathways through the site, lighting and wayfinding</p> <p>Heritage interpretation plans and strategies</p>



Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
 	<p>crafted the monuments. The Cemetery is of rare and representative social significance at a State level because of the high esteem in which it is held by major identifiable groups in the community, which lead to its becoming a benchmark in the conservation of historical cemeteries. It has enormous educational and research potential at a rare and representative State level from its wealth of genealogical, architectural, horticultural and artistic information which is readily accessible to the public. As the burial place for over 14,000 Australians whose lives contributed to the development of Sydney's North Shore, Gore Hill memorial Cemetery has strong social associations with the community for social, cultural and spiritual reasons.³²</p>		<p>could also be developed for the site.</p> <p>Any new facilities developed close to the boundary between the Gore Hill Memorial Cemetery and the Gore Hill Oval should retain a landscaped separation between the two zones to preserve the peaceful nature of the cemetery.</p>
<p>Sandringham 3 Park Road, St Leonards³³ Lane Cove Local Environmental Plan 2009. Heritage Item No. I325</p> 	<p>There is no readily available Statement of Significance for this item.</p>	<p>Character Area:</p> <p>Residential St Leonards South</p> <p>Proposed Works:</p> <p><i>St Leonards South is proposed to be a higher density residential area over time. Increased densities will be focused in those areas closest to St Leonards Station.</i></p>	<p>Individual heritage items, which are mostly freestanding dwellings may be at risk of demolition or loss of setting due to the proposed higher density development in the St Leonards South residential area.</p> <p>All heritage listed dwellings within the St Leonards South Precinct should be retained as freestanding and continue their residential use. If medium/high density development is proposed in or around the site, provisions should be made to retain an understanding of the dwellings as individual items.</p>

³² Gore Hill Memorial Cemetery, 211 Pacific Highway, St Leonards. State Heritage Inventory Database No.: 2660279.


³³ Image source: 3 Park Road, St Leonards, NSW 2065 - Property Details. (2018). Realestate.com.au. Retrieved 6 February 2018

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
			Any development within the vicinity should respect the low scale nature of these items and transition appropriately.
<p>House 5 Park Road, St Leonards³⁴ Lane Cove Local Environmental Plan 2009. Heritage Item No. I326</p> 	There is no readily available Statement of Significance for this item.	<p>Character Area:</p> <p>Residential St Leonards South</p> <p>Proposed Works:</p> <p><i>St Leonards South is proposed to be a higher density residential area over time. Increased densities will be focused in those areas closest to St Leonards Station.</i></p>	<p>Individual heritage items, which are mostly freestanding dwellings may be at risk of demolition or loss of setting due to the proposed higher density development in the St Leonards South residential area.</p> <p>All heritage listed dwellings within the St Leonards South Precinct should be retained as freestanding and continue their residential use. If medium/high density development is proposed in or around the site, provisions should be made to retain an understanding of the dwellings as individual items.</p> <p>Any development within the vicinity should respect the low scale nature of these items and transition appropriately.</p>

³⁴ Image Source: 5 Park Road, St Leonards, NSW 2065 - View Sold History & Research Property Values - realestate.com.au. (2018).


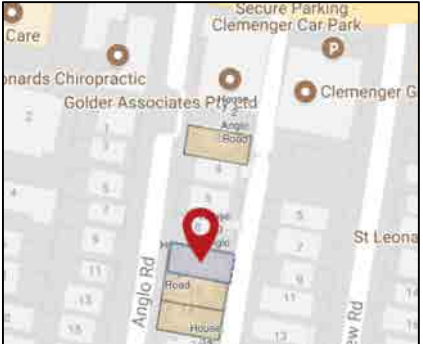
Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
			
<p>House 7 Park Road, St Leonards.³⁵ Lane Cove Local Environmental Plan 2009. Heritage Item No. I327</p> 	<p>There is no readily available Statement of Significance for this item.</p>	<p>Character Area: Residential St Leonards South</p> <p>Proposed Works:</p> <p><i>St Leonards South is proposed to be a higher density residential area over time. Increased densities will be focused in those areas closest to St Leonards Station.</i></p>	<p>Individual heritage items, which are mostly freestanding dwellings may be at risk of demolition or loss of setting due to the proposed higher density development in the St Leonards South residential area.</p> <p>All heritage listed dwellings within the St Leonards South Precinct should be retained as freestanding and continue their residential use. If medium/high density development is proposed in or around the site, provisions should be made to retain an understanding of the dwellings as individual items.</p> <p>Any development within the vicinity should respect the low scale nature of these items and transition appropriately.</p>

³⁵ Image Source: Home. (2018). Themansions.com.au. Retrieved 6 February 2018, from <http://www.themansions.com.au/>

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
			
Greenwich House 2 Anglo Road, Greenwich ³⁶ Lane Cove Local Environmental Plan 2009. Heritage Item No. I3	<p>The State Heritage Inventory provides the following historical notes on the property.</p> <p>'Part of the St Leonards Park Estate. Subdivided in 1885. Symmetrical late Victorian brick cottage; brick unfortunately painted. Terracotta tile roof, terracotta finials. Bullnose corrugated iron verandah with turned timber verandah columns and cast iron valance. Early front door. Sandstone window sills, turned timber pilasters to windows. Coloured glass. Brick front fence with stone coping and iron pipe.'³⁷</p>	<p>Character Area:</p> <p>Residential St Leonards South</p> <p>Proposed Works:</p> <p><i>St Leonards South is proposed to be a higher density residential area over time. Increased densities will be focused in those areas closest to St Leonards Station.</i></p>	<p>Individual heritage items, which are mostly freestanding dwellings may be at risk of demolition or loss of setting due to the proposed higher density development in the St Leonards South residential area.</p> <p>All heritage listed dwellings within the St Leonards South Precinct should be retained as freestanding and continue their residential use. If medium/high density development is proposed in or around the site, provisions should be made to retain an understanding of the dwellings as individual items.</p> <p>Any development within the vicinity should respect the low scale nature of these items and transition appropriately.</p>


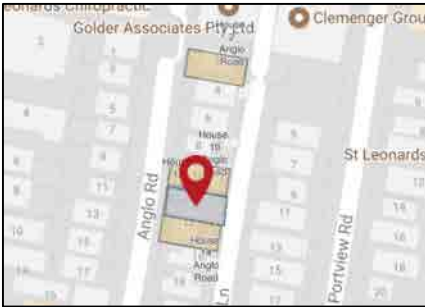
³⁶ Image Source: "2 Anglo Road, Greenwich, NSW 2065 - Property Details." Realestate.com.au. N. p., 2018. Web. 6 Feb. 2018.

³⁷ House, 2 Anglo Road, Greenwich. State Heritage Inventory Database No.: 1920003.

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
 <p>House 10 Anglo Road, Greenwich³⁸ Lane Cove Local Environmental Plan 2009. Heritage Item No. I4</p> 	<p>The State Heritage Inventory provides the following Statement of Significance for the site:</p> <p>'Group of relatively intact Federation cottages, indicative of the speculation and subdivision occurring at the time associated with the railway.'³⁹</p>	<p>Character Area:</p> <p>Residential St Leonards South</p> <p>Proposed Works:</p> <p><i>St Leonards South is proposed to be a higher density residential area over time. Increased densities will be focused in those areas closest to St Leonards Station.</i></p>	<p>Individual heritage items, which are mostly freestanding dwellings may be at risk of demolition or loss of setting due to the proposed higher density development in the St Leonards South residential area.</p> <p>All heritage listed dwellings within the St Leonards South Precinct should be retained as freestanding and continue their residential use. If medium/high density development is proposed in or around the site, provisions should be made to retain an understanding of the dwellings as individual items.</p> <p>Any development within the vicinity should respect the low scale nature of these items and transition appropriately.</p>




³⁸ Image Source: "10 Anglo Road, Greenwich, NSW 2065 - Property Details." Realestate.com.au. N. p., 2018. Web. 6 Feb. 2018.

³⁹ House, 10 Anglo Road, Greenwich. State Heritage Inventory Database No.: 1920004.

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
 <p>House 12 Anglo Road, Greenwich⁴⁰ Lane Cove Local Environmental Plan 2009. Heritage Item No. I4</p> 	<p>The State Heritage Inventory provides the following Statement of Significance for the site:</p> <p>'Group of relatively intact Federation cottages, indicative of the speculation and subdivision occurring at the time associated with the railway.'⁴¹</p> <p>*Statement of Significance from inventory sheet for No. 10 Anglo Road.</p>	<p>Character Area:</p> <p>Residential St Leonards South</p> <p>Proposed Works:</p> <p><i>St Leonards South is proposed to be a higher density residential area over time. Increased densities will be focused in those areas closest to St Leonards Station.</i></p>	<p>Individual heritage items, which are mostly freestanding dwellings may be at risk of demolition or loss of setting due to the proposed higher density development in the St Leonards South residential area.</p> <p>All heritage listed dwellings within the St Leonards South Precinct should be retained as freestanding and continue their residential use. If medium/high density development is proposed in or around the site, provisions should be made to retain an understanding of the dwellings as individual items.</p> <p>Any development within the vicinity should respect the low scale nature of these items and transition appropriately.</p>


⁴⁰ Image Source: "12 Anglo Road Greenwich NSW 2065 - House FOR SALE #3030306 - Harbourline.Com.Au." harbourline.com.au. N. p., 2018. Web. 6 Feb. 2018.



⁴¹ House, 10 Anglo Road, Greenwich. State Heritage Inventory Database No.: 1920004.

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
			
<p>House 14 Anglo Road, Greenwich⁴² Lane Cove Local Environmental Plan 2009. Heritage Item No. I6</p>  	<p>The State Heritage Inventory provides the following Statement of Significance for the site:</p> <p>'Group of relatively intact Federation cottages, indicative of the speculation and subdivision occurring at the time associated with the railway.'⁴³</p> <p>*Statement of Significance from inventory sheet for No. 10 Anglo Road.</p>	<p>Character Area:</p> <p>Residential St Leonards South</p> <p>Proposed Works:</p> <p><i>St Leonards South is proposed to be a higher density residential area over time. Increased densities will be focused in those areas closest to St Leonards Station.</i></p>	<p>Individual heritage items, which are mostly freestanding dwellings may be at risk of demolition or loss of setting due to the proposed higher density development in the St Leonards South residential area.</p> <p>All heritage listed dwellings within the St Leonards South Precinct should be retained as freestanding and continue their residential use. If medium/high density development is proposed in or around the site, provisions should be made to retain an understanding of the dwellings as individual items.</p> <p>Any development within the vicinity should respect the low scale nature of these items and transition appropriately.</p>



⁴² Image Source: "14 Anglo Road, Greenwich, NSW 2065 - View Sold History & Research Property Values - realestate.com.au." realestate.com.au. N. p., 2018. Web. 6 Feb. 2018.

⁴³ House, 10 Anglo Road, Greenwich. State Heritage Inventory Database No.: 1920004.

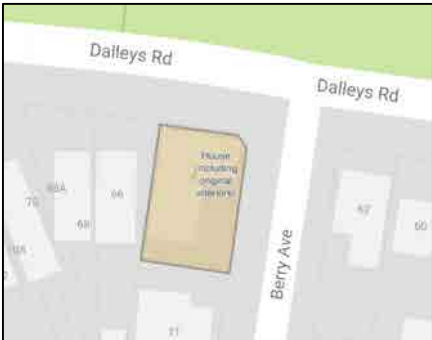

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
<p>Naremburn</p> <p>Naremburn Heritage Conservation Area</p> <p>Willoughby Local Environmental Plan 2012. Heritage Item No. C8</p> 	<p>The nature of this development is reflected in the consistency of the building stock which primarily comprises rare, single fronted, detached Federation style brick cottages. Wider fronted cottages (though still small) on amalgamated lots, and some timber construction can be found scattered throughout the otherwise homogeneous area.</p> <p>The cottages address the street from narrow front setbacks behind small front garden plots. Individual streetscapes vary in the blending of built and landscaped elements. Martin Street's wider level carriageway and the general lack of street tree planting creates an urban landscape, dominated by buildings. In Plunkett, Darvall and Oxley Streets, established street trees in generally wider verges, often complemented by more planted garden plots and more sloping landforms, attractively blend buildings and vegetation. Darvall Street's rows of towering mature <i>Phoenix canariensis</i> palms provide a dramatic and decorative setting for the tiny cottages. Rear service lanes originally used for sanitary collection now provide vehicular access.</p>	<p>Character Area:</p> <p>Residential – Naremburn and Crows Nest.</p> <p>Proposed Works:</p> <p>Naremburn and Crows Nest areas are proposed to be retained for lower density residential development.</p> <p>There will be interfaces with heritage items between high density development in the St Leonards Centre and Crows Nest Metro Station character area.</p>	<p>The Precinct encompasses the <i>Naremburn HCA</i>. There is limited risk of overshadowing. However, there is a risk that future development could form a hard edge against the HCA.</p> <p>A transition and edge of commercial, mixed use and residential built form will be located along Chandon Street, delineating the St Leonards Centre from Naremburn residential neighbourhood and the Heritage Conservation Area in the north.</p>

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
<p>Converted Naremburn Public School and Resources Centre 10 Dalleys Road, Naremburn</p> <p>Willoughby Local Environmental Plan 2012. Heritage Item No. I156</p>  	<p>The State Heritage Inventory provides the following Statement of Significance for the site:</p> <p>'The original Naremburn Public School Building has some significance relating to its association with 100 years of public school education and its architectural evolution. The use of the internal central hall and lantern are unusual.</p> <p>The first Infant's School is considered unusual in its use of the domestic Arts and Crafts style with functional school layout. Several large trees are significant. The former Girls School is a substantial largely intact representative example of 1920's school architecture.</p> <p>The scale and location of the buildings compliments the nearby St Leonards School and Church, and together they form a civic focus to the area.'⁴⁴</p>	<p>Character Area:</p> <p>Residential – Naremburn and Crows Nest.</p> <p>Proposed Works:</p> <p>Naremburn and Crows Nest areas are proposed to be retained for lower density residential development.</p> <p>There will be interfaces with heritage items between high density development in the St Leonards Centre and Crows Nest Metro Station character area.</p>	<p><i>Converted Naremburn Public School and Resources Centre and House including original interiors</i> at 248 Willoughby Road are located outside the boundary of the Naremburn HCA. The sites are not protected by the same controls which may result in larger residential developments being constructed in the immediate vicinity. Therefore, any new development in the immediate vicinity should respect the existing form and scale of the school building.</p>



⁴⁴ Converted Naremburn Public School, 10 Dalleys Road, Naremburn. State Heritage Inventory Database No.: 2660096.

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
<p>House (including original interiors) 248 Willoughby road, Naremburn.</p> <p>Willoughby Local Environmental Plan 2012. Heritage Item No. 1173</p>  	<p>The State Heritage Inventory provides the following Statement of significance for the site:</p> <p>'The house at No 248 Willoughby Road, constructed in 1915 has relevance within the local historical context as it provides evidence of the early development of Chatswood, being one of a group of larger residences built in the Municipality for professional clients' ⁴⁵</p>	<p>Character Area:</p> <p>Residential – Naremburn and Crows Nest.</p> <p>Proposed Works:</p> <p>Naremburn and Crows Nest areas are proposed to be retained for lower density residential development.</p> <p>There will be interfaces with heritage items between high density development in the St Leonards Centre and Crows Nest Metro Station character area.</p>	<p>See above.</p>

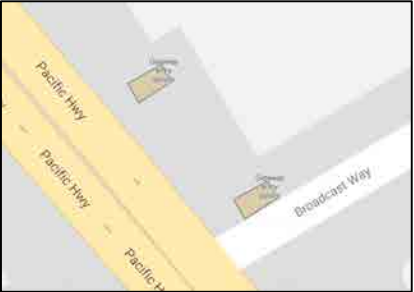

⁴⁵ House, 248 Willoughby Road, Naremburn. State Heritage Inventory Database No.: 2660275.

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
<p>House (including interiors) 4 Berry Avenue, Naremburn</p> <p>Willoughby Local Environmental Plan 2012. Heritage Item No. I154</p>  	<p>The State Heritage Inventory provides the following Statement of significance for the site:</p> <p>“The original cottage has some historical significance as an example of an early modest weatherboard residence now rare in this area. This is irreversibly compromised by later additions. The series of sympathetic additions made to the original cottage give the house some aesthetic value for its contribution to the streetscape”.⁴⁶</p>	<p>Character Area:</p> <p>Residential – Naremburn and Crows Nest.</p> <p>Proposed Works:</p> <p>Naremburn and Crows Nest areas are proposed to be retained for lower density residential development.</p> <p>There will be interfaces with heritage items between high density development in the St Leonards Centre and Crows Nest Metro Station character area.</p>	<p>No. 4 Berry Avenue, Naremburn should be retained as a freestanding dwelling and continue its residential use. Any new development in the immediate vicinity should respect the existing form and scale of the dwelling.</p>
Artarmon			
<p>Industrial Building (including surviving industrial elements) 1 Frederick Street, Artarmon</p> <p>Willoughby Local Environmental Plan 2012. Heritage Item No. I1</p>	<p>The State Heritage Inventory provides the following Statement of Significance for the site:</p> <p>“The Council Works Depot has historical significance is demonstrating the former post-WWII industrial character of Willoughby, and the</p>	<p>Character Area:</p> <p>Artarmon Employment Area</p> <p>Proposed Works:</p>	<p><i>Industrial Building</i> has been adaptively reused for retail usage. This use should continue.</p>

⁴⁶ House (including interiors), 4 Berry Street, Naremburn. State Heritage Inventory Database No. 2660022




Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
 	<p>tunnel under Reserve Road has archaeological significance as a remnant of the former brickworks on the site. It has some aesthetic significance as a local landmark and as a large and impressive post-WWII industrial building. It is intact and retains earlier industrial equipment such as travelling gantries.⁴⁷</p>	<p><i>Artarmon Employment Area is proposed to be protected for employment and urban services. It will evolve into a key high density employment and tech area fostering complementary uses adjoining light industry.</i></p>	
<p>Gateway Entry Pylons Part of 215 Pacific Highway, Artarmon Willoughby Local Environmental Plan 2012. Heritage Item No. I6</p>	<p>The State Heritage Inventory provides the following Statement of Significance for the site:</p> <p>'The Channel 7 Entry Pylons have been identified as having local significance. The two pylons were on the site prior to the ABC acquisition in 1955 and belonged to the Channel 7 network. The structures contain some aesthetic significance because they are masonry structures of distinct modernist aesthetic and are products of a recognizable style of architecture, predominant at the time circa mid 1950's. They are historically significant because they predate ABC's acquisition of the site and are associated with</p>	<p>Character Area:</p> <p>Artarmon Employment Area</p> <p>Proposed Works:</p> <p><i>Artarmon Employment Area is proposed to be protected for employment and urban services. It will evolve into a key high density employment and tech area fostering complementary uses adjoining light industry.</i></p>	<p>The <i>Gateway Entry Pylons</i> and <i>Footings of the former transmission tower</i> may not be realised for their heritage significance in future redevelopments. Therefore, any future development should integrate these items where possible.</p>

⁴⁷ Industrial building, 1 Frederick Street, Artarmon. State Heritage Inventory Database No.: 2660056.



Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
 	<p>television production. They are representative of the spirit with which the nascent technology of television ventured forth on the site. However, the structures lack technological significance. There may be a degree of social significance associated with the landmark qualities of the pylon on the Pacific Highway, which is a major arterial thoroughway.⁴⁸</p>		
<p>Footings of the former transmission tower Part of 215 Pacific Highway, Artarmon Willoughby Local Environmental Plan 2012. Heritage Item No. I7</p>	<p>The State Heritage Inventory provides the following Statement of Significance for the site:</p> <p>'The footing of the former Channel 7 Transmission Tower is historically significant at a local level because of its ability to demonstrate the early history of the Gore Hill site prior to its acquisition by the ABC from ATN Channel 7, including its single and continued use as a television production facility. They are representative of the site chosen for transmitting television signals in the Sydney metropolitan area.'⁴⁹</p>	<p>Character Area:</p> <p>Artarmon Employment Area</p> <p>Proposed Works:</p> <p><i>Artarmon Employment Area is proposed to be protected for employment and urban services. It will evolve into a key high density employment and tech area fostering complementary uses adjoining light industry.</i></p>	<p>See above.</p>

⁴⁸ Gateway Entry Pylons, Part of 215 Pacific Highway, Artarmon. State Heritage Inventory Database No.: 2660281.

⁴⁹ Footings of the former transmission tower, Part of 215 Pacific Highway, Artarmon. State Heritage Inventory Database No.: 2660290.

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
 			
<p>Former Stables TAFE College Grounds, Westbourne Street (also known as 213 Pacific Highway), Artarmon Willoughby Local Environmental Plan 2012. Heritage Item No. I149</p>  <p>*No image, site access not available.</p>	<p>The State Heritage Inventory provides the following Statement of Significance for the site:</p> <p>‘The Old Stables have historical and social significance as a relic of the area’s past. Unique building materials and architectural features give the building aesthetic significance.’⁵⁰</p>	<p>Character Area:</p> <p>Artarmon Employment Area</p> <p>Proposed Works:</p> <p><i>Artarmon Employment Area is proposed to be protected for employment and urban services. It will evolve into a key high density employment and tech area fostering complementary uses adjoining light industry.</i></p>	<p>The <i>TAFE College Grounds</i> is one of the few low scale large sites within the Precinct, which has potential for redevelopment. Development may result in the loss of significance of the old stable buildings. Any new development on the site should integrate the Former Stable Block. The heritage item should be made more publicly accessible.</p>

⁵⁰ Stables (Former), TAFE College Grounds, Westbourne Street, Artarmon. State Heritage Inventory Database No.: 2660258.

Heritage Item & Location	Statement of Significance	Character Area & Proposed Works	Heritage Considerations and Interface Treatments
<p>Communications Tower 217 Pacific Highway, Artarmon Willoughby Local Environmental Plan 2012. Heritage Item No. 18</p>  	<p>The State Heritage Inventory provides the following Statement of Significance for the site:</p> <p>'The Transmission Tower is aesthetically and technologically significant because of its landmark qualities. For almost forty years this structure has dominated the North Shore sky line and has been used as ABC's main Sydney Metropolitan television broadcasting transmission facility. The structure is highly representative of its building type and constitutes a generally rare form of structure. Consequently, the structure is significant because of its wide ranging transmission capabilities. It therefore, is able to transcend the boundary of mere local significance.'⁵¹</p>	<p>Character Area:</p> <p>Artarmon Employment Area</p> <p>Proposed Works:</p> <p><i>Artarmon Employment Area is proposed to be protected for employment and urban services. It will evolve into a key high density employment and tech area fostering complementary uses adjoining light industry.</i></p>	<p>The <i>Communications Tower</i> may become obsolete in future and fall into disrepair. Ideally the tower should be retained and utilised as a communications tower. It should be adapted to take advantage of its landmark qualities. However, if it is proposed to be dismantled the Communications Tower should be appropriately photographed, salvaged and recorded.</p> <p>The Conservation Management Plan for the <i>Communications Tower</i> should be consulted prior to the construction of any buildings in the vicinity or proposed adaptive reuse of the site.</p>

⁵¹ Communications tower, 217 Pacific Highway, Artarmon. State Heritage Inventory Database No.: 2660289.